

City of Sugar Hill
Planning Staff Report
DRB TCO 17-01893

DATE: August 1, 2017
TO: Mayor and Council, Design Review Board
FROM: Planning Director *VA*
SUBJECT: Town Center Overlay (TCO) Design Review
1329 & 1335 Hillcrest Drive, Southern Heritage Home Builders

RECOMMENDED ACTION

Approval with the following conditions:

1. Provide pedestrian walkway from front doors of units to existing sidewalk along Hillcrest Drive.
2. A single common entry drive shall be aligned with the existing intersection at Hillcrest Glenn Drive.
3. Rear entry or detached garages shall be provided. No front entry or individual driveways shall be allowed to directly access Hillcrest Drive.
4. Final design shall substantially resemble the attached elevations and site plan. Except minor deviations required to address project access in accordance with these conditions and material selection in compliance with the minimum standard.
5. Windows and façade articulations shall be placed in a regular pattern and relate to doors, columns, and other façade articulations.
6. If used, shutters shall be sized exactly half the size of the window. Curved shutters must match the curve of the window. Shutters must be mounted directly to the casing with proper shutter hardware.
7. The following architectural design conditions are prohibited: Material changes on outside corners. Recessed front porches. More than two principal building materials. Chimneys on outside walls that do not extend completely to the ground.

ISSUE The City of Sugar Hill has received an application from Southern Heritage Home Builders requesting design review board approval for the construction of a 6 unit townhome within the Town Center Overlay District.

DISCUSSION

- The side façades of the end units appear to lack sufficient expressive character. Additional windows and/or appropriate structural articulation should resolve the issue.
- Current architectural standards limit siding to 20% of side / rear facades.
- Town Center Overlay District requires design review approval by City Council.

- The subject property is currently zoned RS-100 and has been subdivided for three homes, the applicant is requesting to rezone to RM to construct a 6 unit townhome and is seeking design review approval.
- The property is adjacent to a parking lot owned by the Sugar Hill Church zoned Medium Density Single Family Residential District (RS-100) and to the rear of the property is vacant land owned by Sugar Hill Church which is zoned Agriculture and Forest (AF) zoning classification which are both located in the Town Center Overlay District.
- Design demonstrates simple massing with stoops, porches, roof eaves, and balconies which provides an expressive character without over articulation of building massing and shape. Roof lines are appropriately simple and do not excessively overlap. The length:height ratio of the front facade appears to nearly hold to a simple 3:2 proportion. Each individual townhouse feels a touch tall and spindly but when placed side to side in a six unit building this observation is subdued.

APPLICANT: Southern Heritage Home Builders – Michael Phelps

PROPERTY OWNER: BBC Investments

EXISTING ZONING: Medium Density Single Family Residential District (RS-100).

REQUEST: 6 unit Townhome – Design Review Approval

PROPERTY SIZE: ± 1.299 Acres, Tax Parcel #7-305-422, 066, & 423

LOCATION: 1329 & 1335 Hillcrest Drive.

Section 1001.F. requires Mayor and City Council approval of all new construction or land improvements within the TCO and CBD. The TCO and CBD requirements are designed to promote attractive and integrated urban design features, small town urban character, and pedestrian-oriented public and commercial spaces.

These parcels are located at 1329 & 1335 Hillcrest Drive. It is currently subdivided for the construction of three Single Family homes.

DESIGN REVIEW CRITERIA

1. *Is the proposed project consistent with the adopted design guidelines for the type of development, and/or the proposed use?*

Except for a few design details on the side facades and rear façade material selection, yes. From Section 1001, TCO Overlay, E. Design Criteria and Standards, 1. Design Criteria – Architectural Design: “Each individual building or project must contribute to a consistent architectural identity for the TCO by using traditional forms, authentic materials, and quality craftsmanship.”

2. *Is the proposed project consistent and compatible with the nature and character of the surrounding areas?*

The proposed design has a residential character, but it is not inappropriate for the location. The building has a traditional style, which will blend with the architecture within the area.

3. *Are the site design, landscaping, general design, character, arrangement and scale of buildings, texture, materials and colors of the project similar to or compatible with features or structures in the area?*

The general design, character, arrangement, materials, color, and scale of the building are compatible with the emerging character of the area. The site design and landscaping should be modified to contribute a more pedestrian-accessible streetscape by providing walkway from front doors of the units to existing sidewalk along Hillcrest Drive. A single common entry drive shall be aligned with the existing intersection at Hillcrest Glenn Drive.

4. *Will the interior arrangement or use have any effect on exterior architectural features and otherwise complies with the standards of this ordinance?*

The design team will need to ensure that any interior changes to the configuration do not adversely affect the layout of the facade.

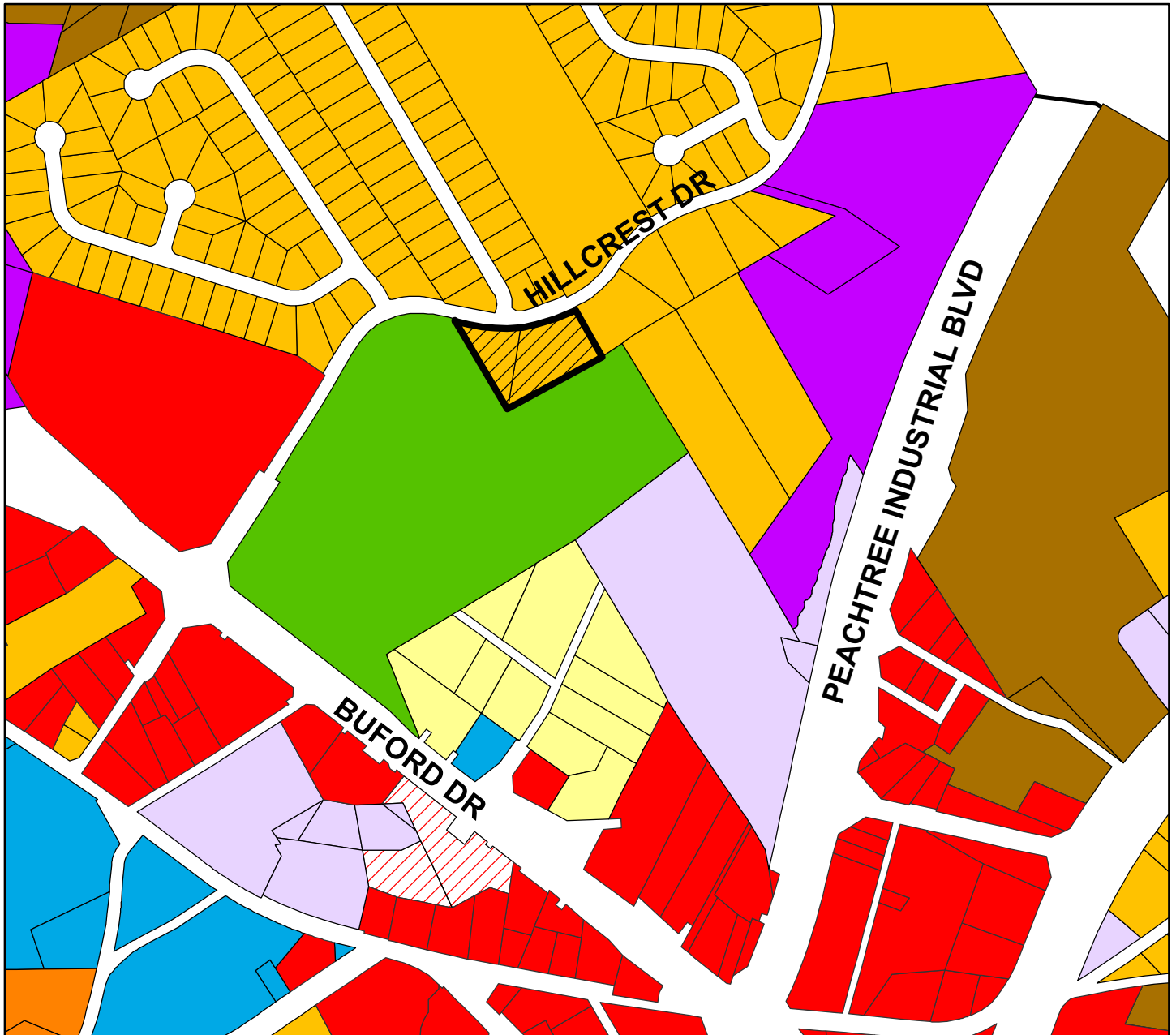
5. *Does the project contribute or resemble the following criteria for considering a design inappropriate?*

Character foreign to the area / Arresting and spectacular effects / Violent contrasts of material or color, or intense or lurid colors / A multiplicity or incongruity of details resulting in a restless and disturbing appearance / The absence of unity and coherence in composition not in consonance with the density and character of the present structure or surrounding area.

The proposed changes do not contribute to any of the listed inappropriate design criteria. However, there are a few competing elements and contrasting materials that could be better integrated into the overall design.

Rezoning RZ-17-002

Applicant: Southern Heritage Home Builders
Zoning: RS-100
Location: 1335 Hillcrest Drive
Request: Rezone to RM



Zoning District



RZ 17-002

AF- Agricultural - Forest

RS200-Low Density Single Family Residential

RS175-Low Density Single Family Residential

RS150-Low Density Single Family Residential

RS100-Medium Density Single Family Residential

RM-Residential Multi-Family Residential

CSD-Conservation Subdivision Residential

MH-Mobile Home Park

OI-Office - Institutional

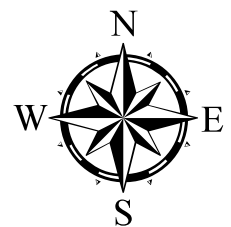
HSB-Highway Service Business

BG-General Business

LM-Light Manufacturing

HM-1-Light Industry

HM-2-Heavy Industry



1 inch = 500 feet



BBC Investments LLC
Southern Heritage Home Builders, LLC
4154 Silver Peak Pkwy., Suite C
Suwannee, GA 30024

June 1, 2017 City

City of Sugar Hill
Attn: Planning & Development
5039 West Broad St.
Sugar Hill, GA 30518

RE: Letter of Intent, design review

The town home design and exterior will have a mix of brick and hardi shake on the fronts of homes with wood windows on the front. The sides and rear will have brick and siding and vinyl windows. Each townhome will have a covered front porch stoop with a metal roof. The town homes will have a clean traditional look that falls in line with the guidelines of town center overlay district. They will have great street appeal with garages in the rear and individual sidewalks up front. The existing homes on the property being demolished are single family homes that are very old. The new fresh look of these townhomes will match very well with the city of sugar hill down town buildings.

Michael Phelps
Southern Heritage Home Builders, LLC.



MILLHAVEN

(S kyland Brookhaven)



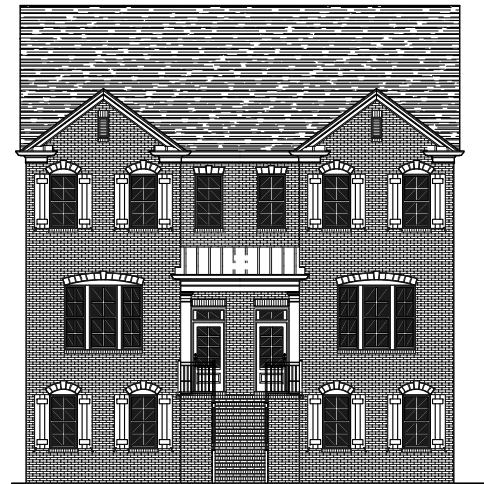
ELEV. A



ELEV. B



ELEV. C



ELEV. D



BUILDING CODE ANALYSIS

USE GROUP:
CONSTRUCTION CLASS:
HEIGHT & AREA LIMITATION:
EMERGENCY ESCAPE:

GARAGE/ HOUSE CEILING/
HOUSE ASSEMBLY:

DESIGN LOADS:

ATTIC VENTILATION:
(EXAMPLE)

NOTE:

PRIOR TO CONSTRUCTION
VERIFY ALL APPLICABLE BUILDING CODES WITH STATE AND LOCAL JURISDICTION

SINGLE FAMILY DWELLING
UNPROTECTED
2 STORY MAXIMUM HGT. 35 FT.
EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS
SHALL HAVE A MINIMUM OF 5.7 SQ. FT.

1/2" GYPSUM BD. WALL & CEILING
W/ 20 MINUTE GARAGE/ HOUSE DOOR

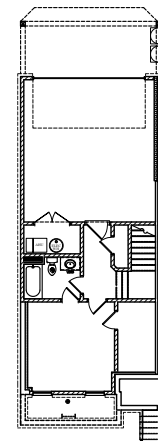
LIVE LOAD:
SLEEPING = 30 PSF
NON-SLEEPING = 40 PSF
DECKS = 40 PSF
DEAD LOAD = 10 PSF
BASIC WIND SPEED = 80 MPH
STAIR LOAD = 40 PSF
ROOF LIVE LOAD = 20 PSF
LATERAL SOIL PRESSURE = 30 PCF (ASSUMED)

2398 SF. / 300 = 7.99 SF. FREE AREA REQ'D
RIDGE VENT = 39 LF. X .085 FREE AREA/LF = 3.31 SF. PROVIDED
SOFFIT VENT = 54 LF. X .045 FREE AREA/LF = 2.43 SF. PROVIDED

DRAWING INDEX

C00 COVER SHEET
A11 FRONT ELEVATION "A"
A12 FRONT ELEVATION "B"
A13 FRONT ELEVATION "C"
A14 FRONT ELEVATION "D"
A21 SIDE & REAR ELEVATIONS
A31 BASEMENT PLANS
A41 FLOOR PLANS
A71 ELECTRICAL FLOOR PLANS
A61 ROOF PLANS
A81 INTERIOR ELEVATIONS
A82 INTERIOR ELEVATIONS
A83 INTERIOR DETAILS
A84 EXTERIOR DETAILS
A85 EXTERIOR - LITWELL DETAILS

PLAN DETAILS



SQUARE FOOTAGE:	
TERRACE LEVEL	472
MAIN LEVEL	895
UPPER LEVEL A, B / C, D	851 / 836
TOTAL HEATED A, B / C, D	2218 / 2,203
2 CAR GARAGE	416
COVERED STOOP	17
DECK	191
TOTAL FRAMED A, B / C, D	2848 / 2,833
OVERALL WIDTH	19'-9 1/2"
OVERALL DEPTH	48'-1"
2 CAR REAR ENTRY GARAGE	

HOME SOUTH
COMMUNITIES

DESIGNER HEREBY EXPRESSLY RESERVES HIS COPYRIGHT AND OTHER PROPERTY RIGHT
IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED
OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE
EXPRESS WRITTEN PERMISSION AND CONSENT OF THE DESIGNER. NOR ARE
THEY TO BE ASSIGNED TO ANY OTHERS WITHOUT FIRST OBTAINING SAID WRITTEN
PERMISSION AND CONSENT. DESIGN DRAWING CONTENTS SUBJECT TO ALL APPLICABLE
CODES, AND APPROVAL BY A LICENSED ENGINEER AND OR ARCHITECT.

SUB-DIVISION SKYLAND BROOKHAVEN
LOT# _____ LOT# _____

ISSUED FOR:

- ☐ ESTIMATING
☐ REVIEW
☐ BIDDING
☐ PERMIT
☐ PROTOTYPE
☐ CONST.

REVISED

JOB NO. _____ DRAWN TC
DATE 05-31-2017 CHECKED db
SCALE: _____ APROV. db

SKYLAND BROOKHAVEN

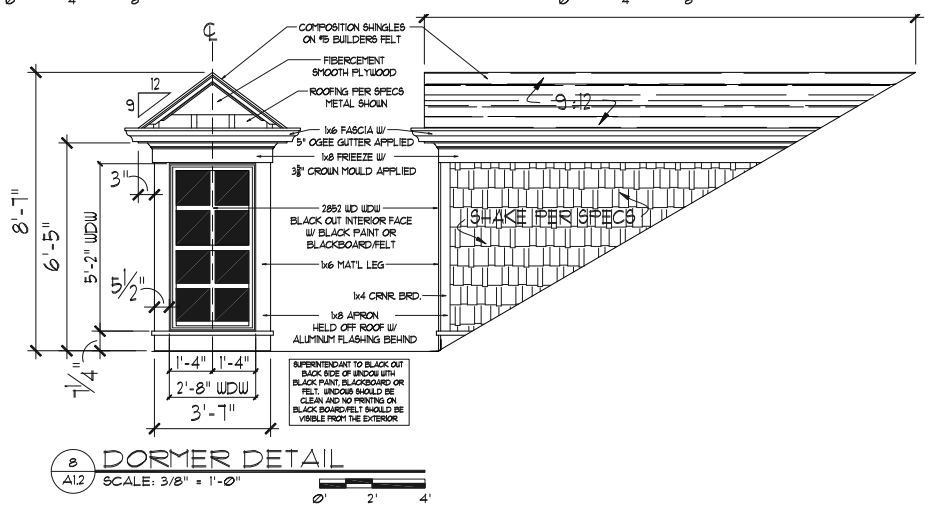
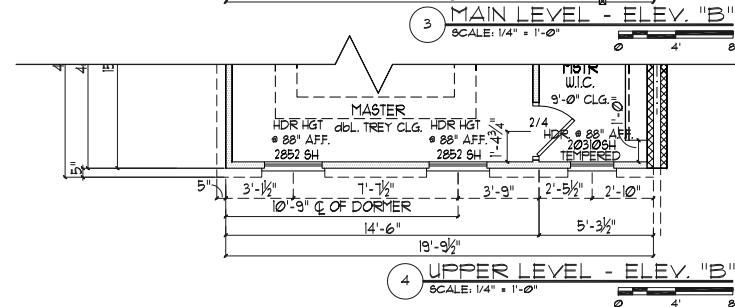
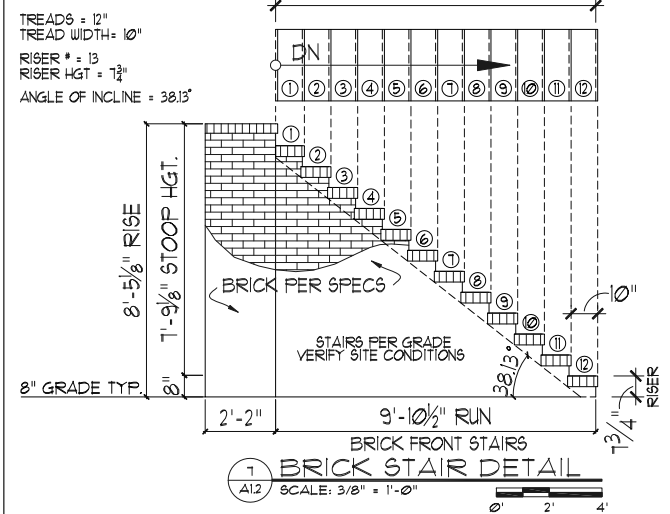
MILLHAVEN

SHEET NO.

C0.0

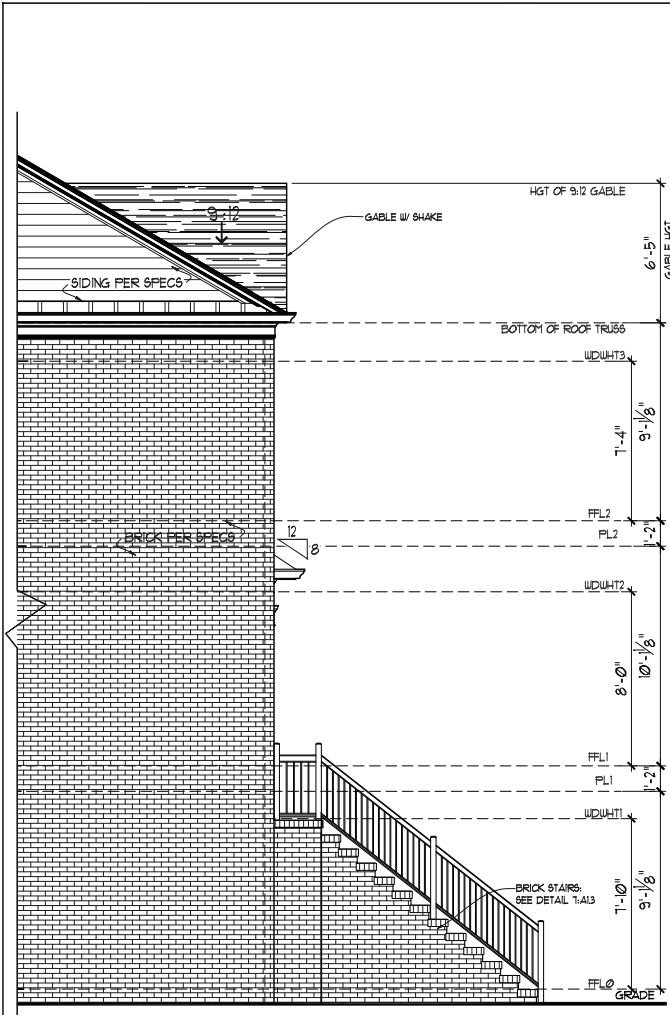
SHEET: 1 OF: 10

	SHEET NO. <h1 style="margin: 0;">A1.1</h1> SHEET: <u>2</u> OF: <u>10</u>
--	---

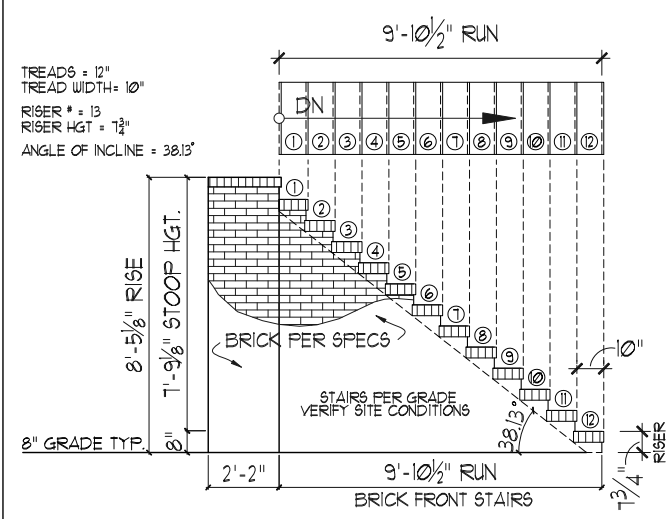


SHEET NO.
A1.2
SHEET: 3 OF: 10

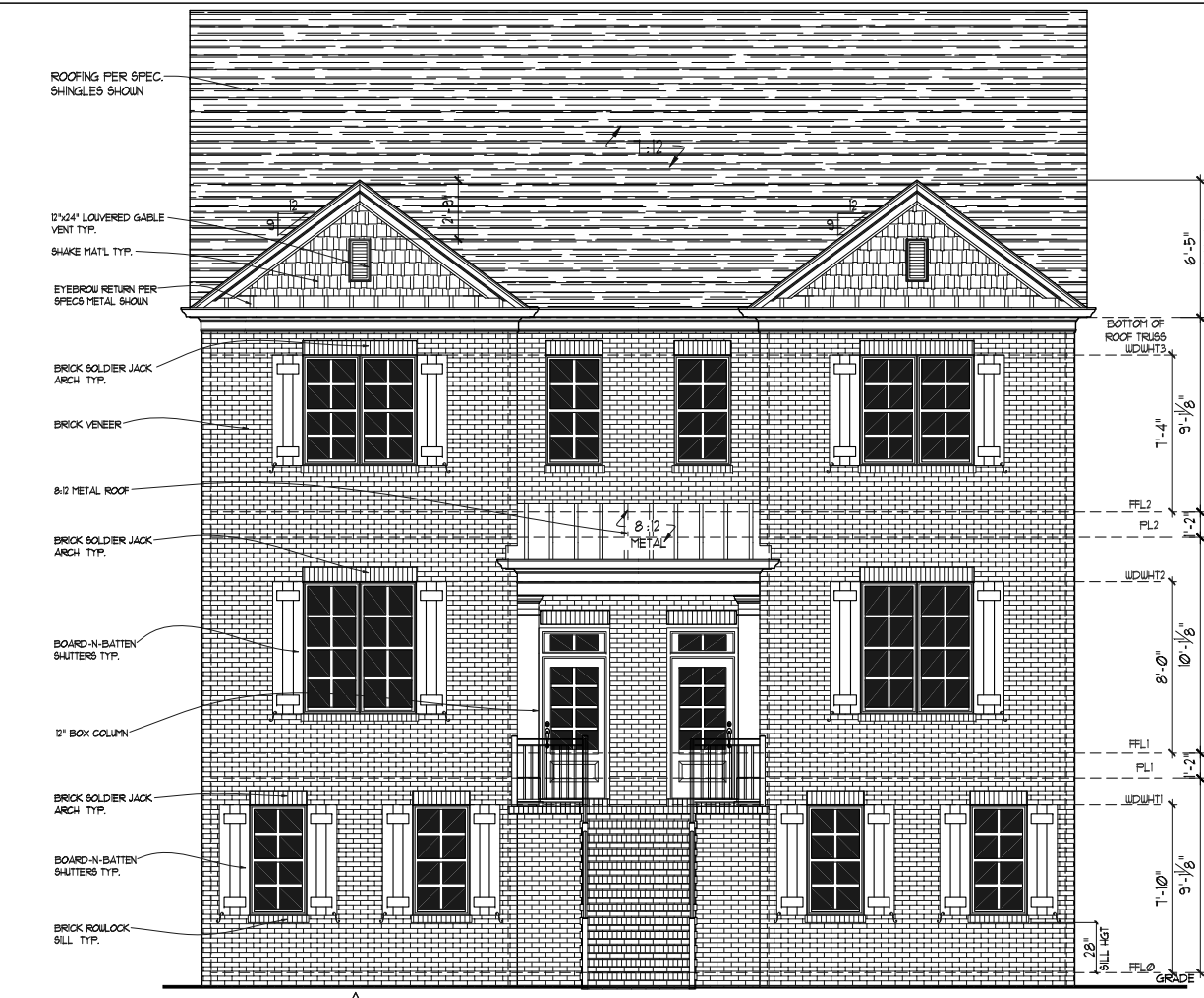
SHEET NO.
A1.2
SHEET: 3 OF: 10



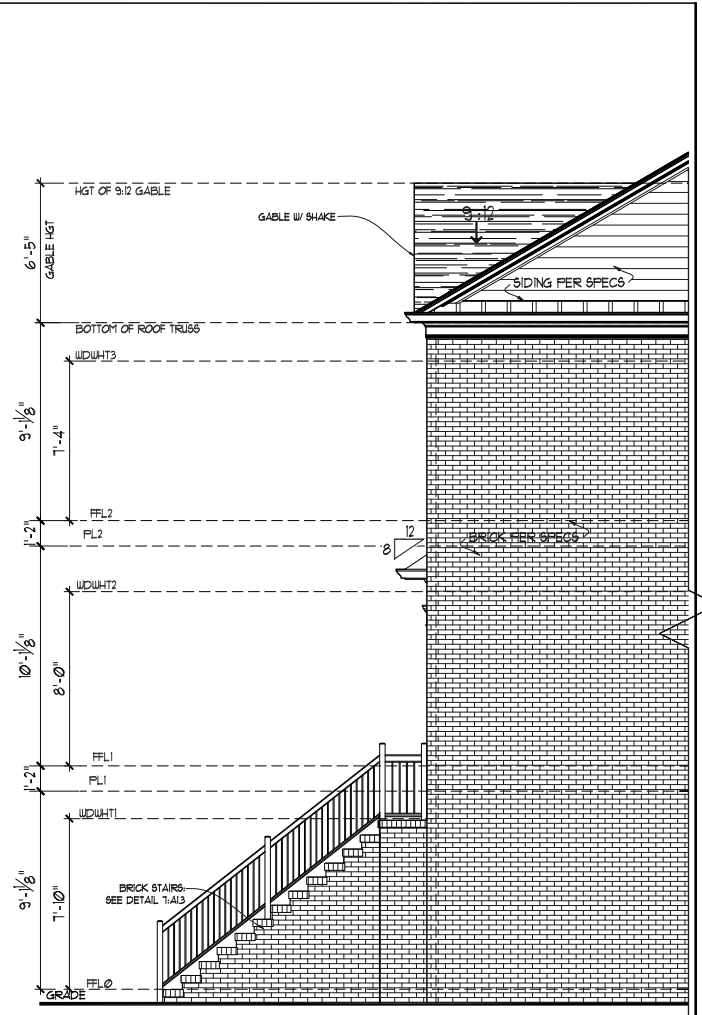
5 LEFT ELEVATION "C"
SCALE: 1/4" = 1'-0"



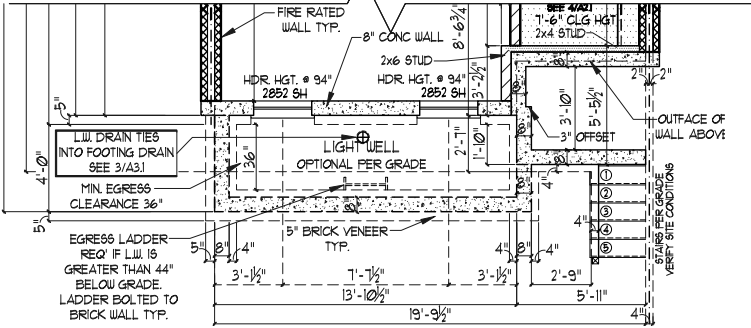
1 TYPICAL BRICK STAIR DETAIL
SCALE: 3/8" = 1'-0"



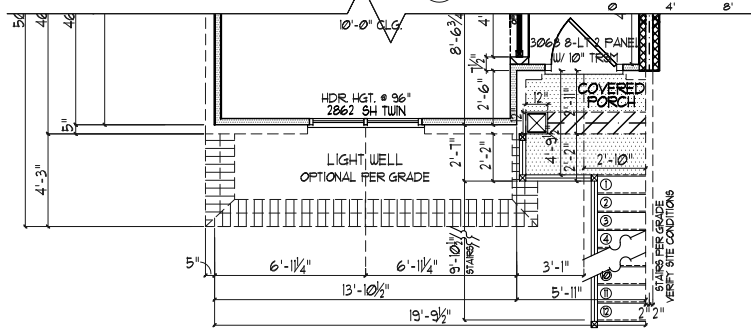
1 FRONT ELEVATION "C"
SCALE: 1/4" = 1'-0"



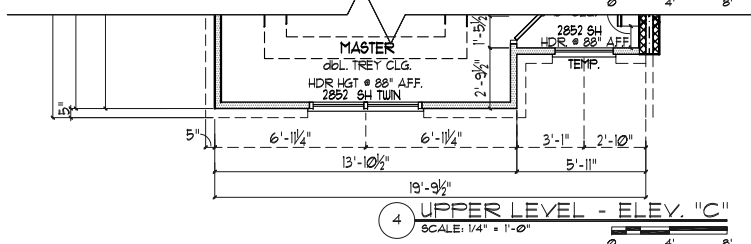
6 RIGHT ELEVATION "C"
SCALE: 1/4" = 1'-0"



2 LOWER LEVEL
SCALE: 1/4" = 1'-0"



3 MAIN LEVEL - ELEV. "C"
SCALE: 1/4" = 1'-0"



4 UPPER LEVEL - ELEV. "C"
SCALE: 1/4" = 1'-0"

HOME SOUTH COMMUNITIES

DESIGNER HEREBY EXPRESSLY RESERVES HIS COPYRIGHT AND OTHER PROPERTY RIGHT IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF THE DESIGNER. YOU ARE THEY TO BE ASSIGNED TO ANY INTERESTS WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT. DESIGN DRAWING CONTENTS SUBJECT TO ALL APPLICABLE CODES AND APPROVALS BY A LICENSED ENGINEER AND OR ARCHITECT.

SUB-DIVISION SKYLAND BROOKHAVEN
LOT # LOT#

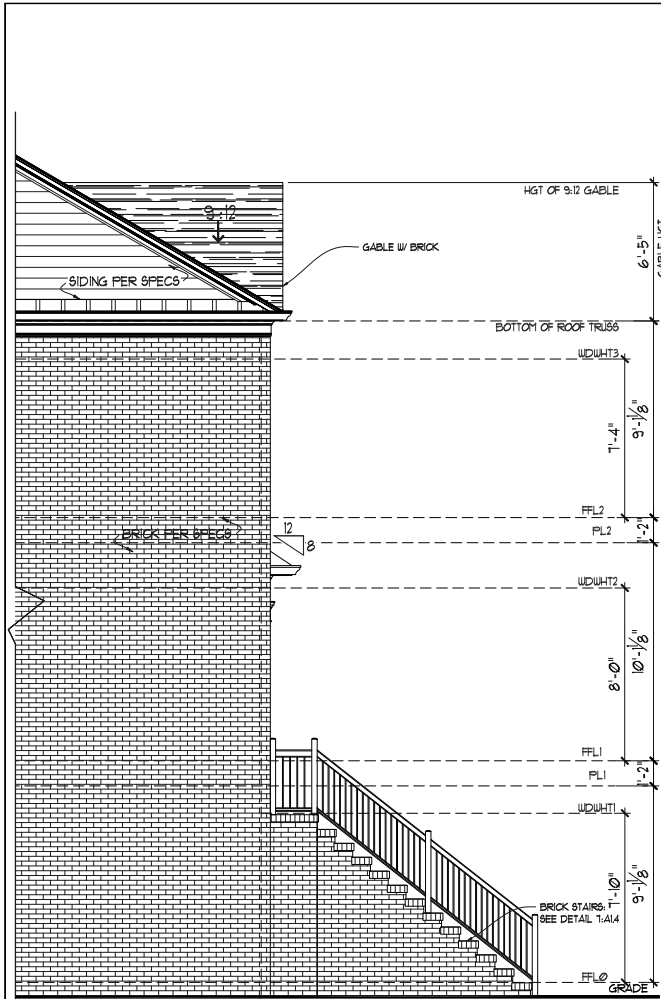
- ISSUED FOR:
- ☐ ESTIMATING
 - ☐ REVIEW
 - ☐ BIDDING
 - ☐ PERMIT
 - ☐ PROTOTYPE
 - ☐ CONST.

REVISED	

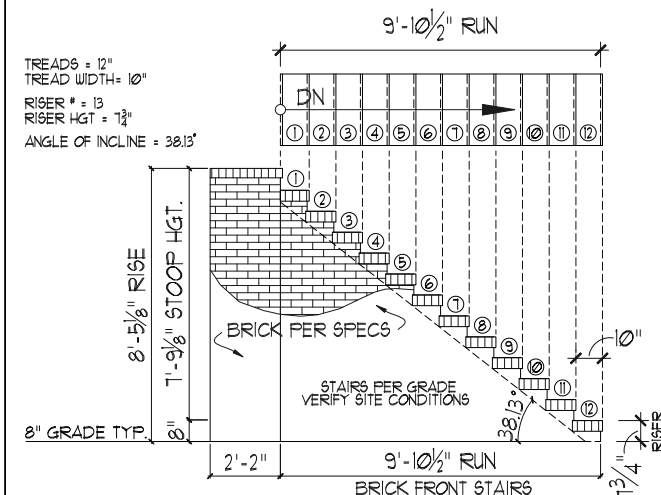
JOB NO. _____ DRAWN _____ TC _____
DATE 05-31-2017 CHECKED _____ db _____
SCALE: _____ APROV. _____ db _____

SKYLAND BROOKHAVEN
MILLHAVEN
ELEVATION "C"

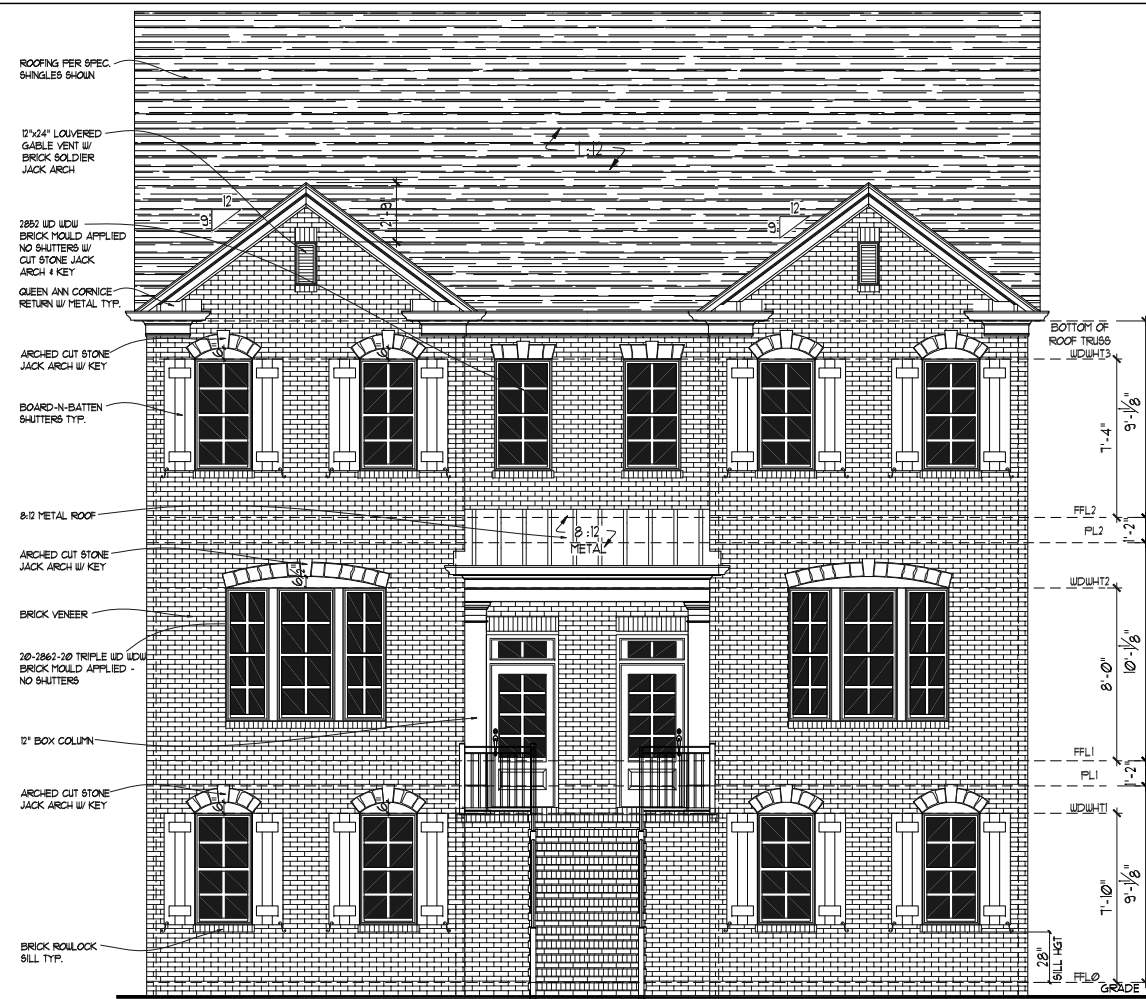
SHEET NO.
A1.3
SHEET: 4 OF 10



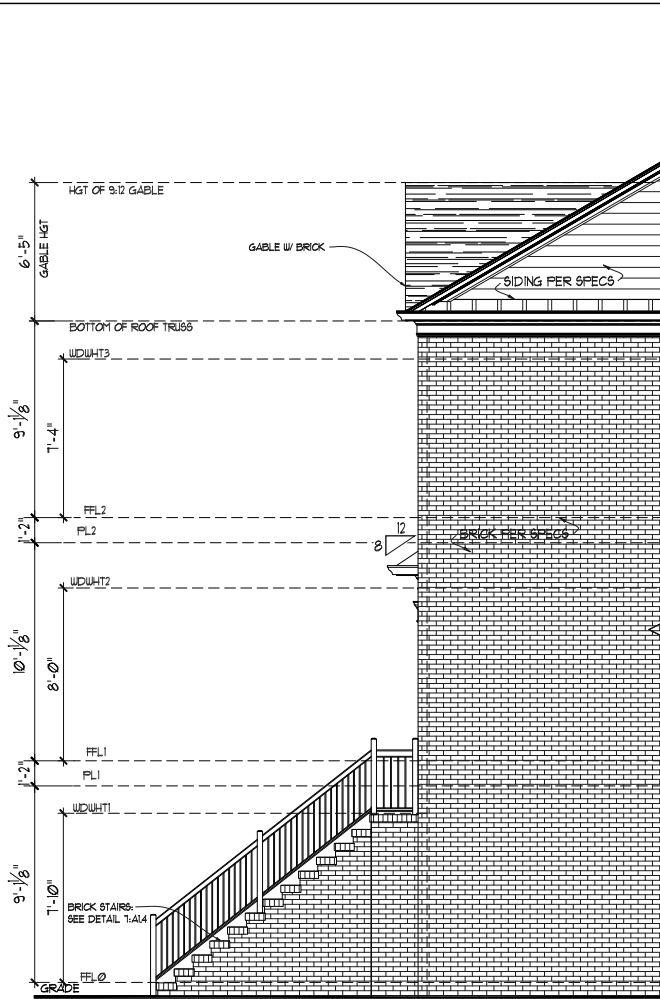
5 LEFT ELEVATION "D"
SCALE: 1/4" = 1'-0"



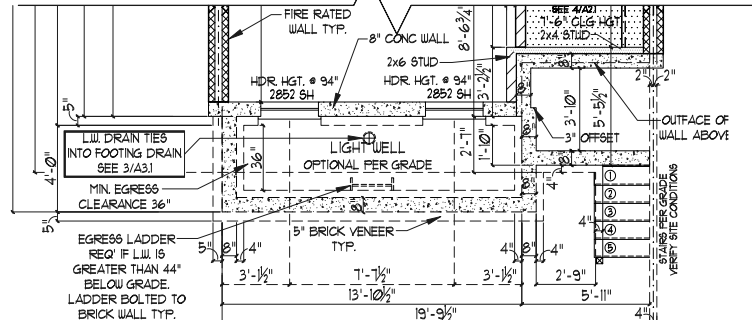
7 TYPICAL BRICK STAIR DETAIL
SCALE: 3/8" = 1'-0"



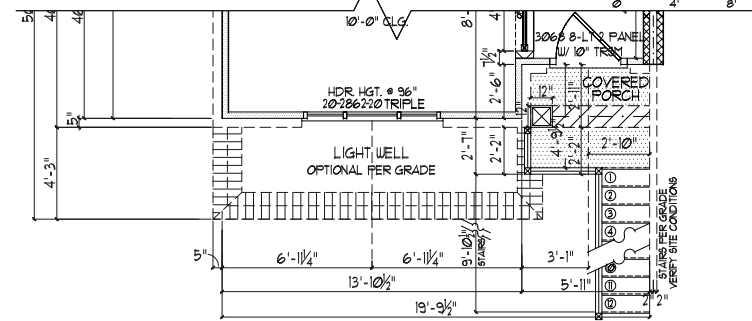
1 FRONT ELEVATION "D"
SCALE: 1/4" = 1'-0"



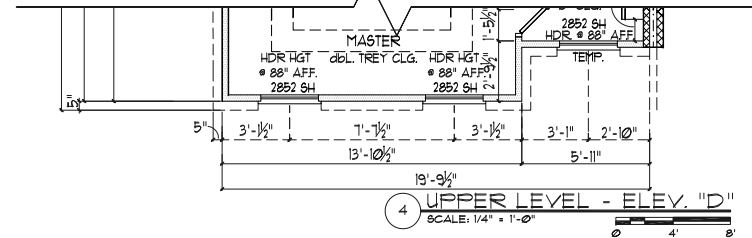
6 RIGHT ELEVATION "D"
SCALE: 1/4" = 1'-0"



2 LOWER LEVEL
SCALE: 1/4" = 1'-0"



3 MAIN LEVEL - ELEV. "D"
SCALE: 1/4" = 1'-0"



4 UPPER LEVEL - ELEV. "D"
SCALE: 1/4" = 1'-0"

HOME SOUTH COMMUNITIES

DESIGNER HEREBY EXPRESSLY RESERVES HIS COPYRIGHT AND OTHER PROPERTY RIGHT IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF THE DESIGNER. WORK ARE TO BE ASSIGNED TO ANY AGENTS WITHOUT FIRST OBTAINING AND WRITTEN PERMISSION AND CONSENT. DESIGN DRAWING CONTENTS SUBJECT TO ALL APPLICABLE CODES AND APPROVAL BY A LICENSED ENGINEER AND OR ARCHITECT.

SUB-DIVISION SKYLAND BROOKHAVEN
LOT # LOT#

ISSUED FOR:

- ☐ ESTIMATING
- ☐ REVIEW
- ☐ BIDDING
- ☐ PERMIT
- ☐ PROTOTYPE
- ☐ CONST.

REVISED

JOB NO. DRAWN TC
DATE 05-31-2017 CHECKED db
SCALE: APROV. db

SKYLAND BROOKHAVEN

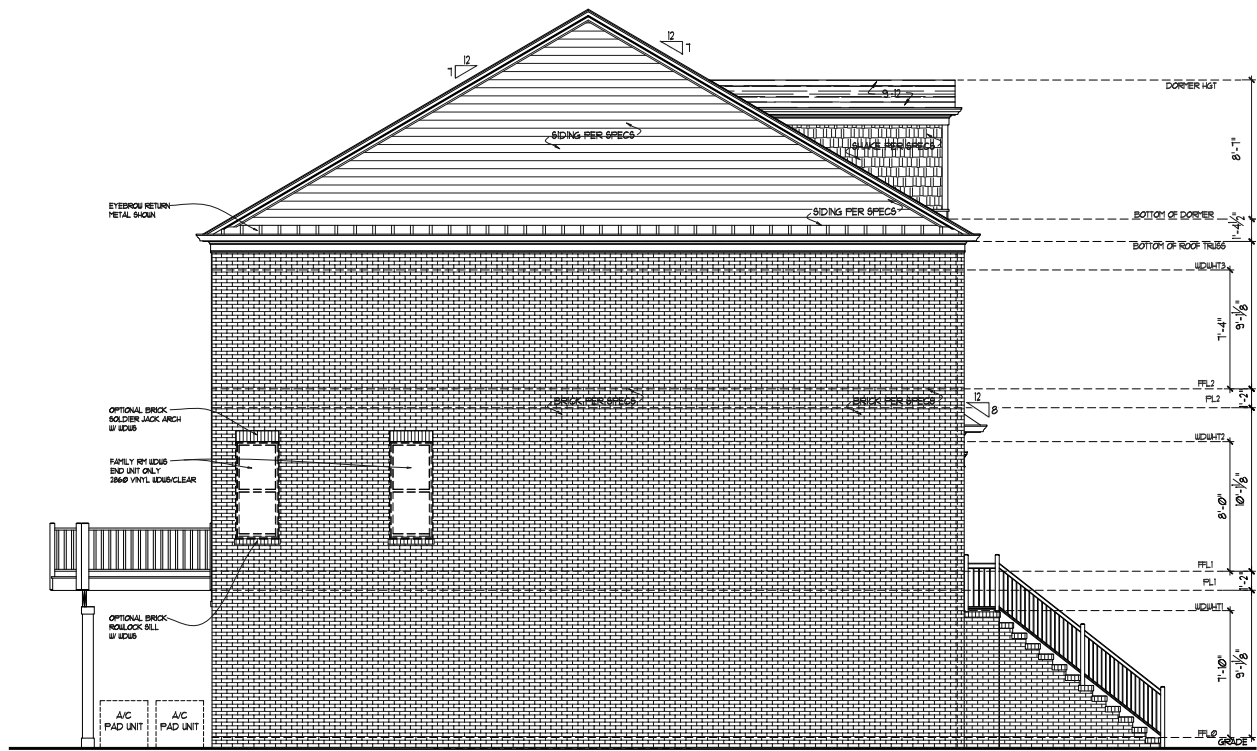
MILLHAVEN

ELEVATION "D"

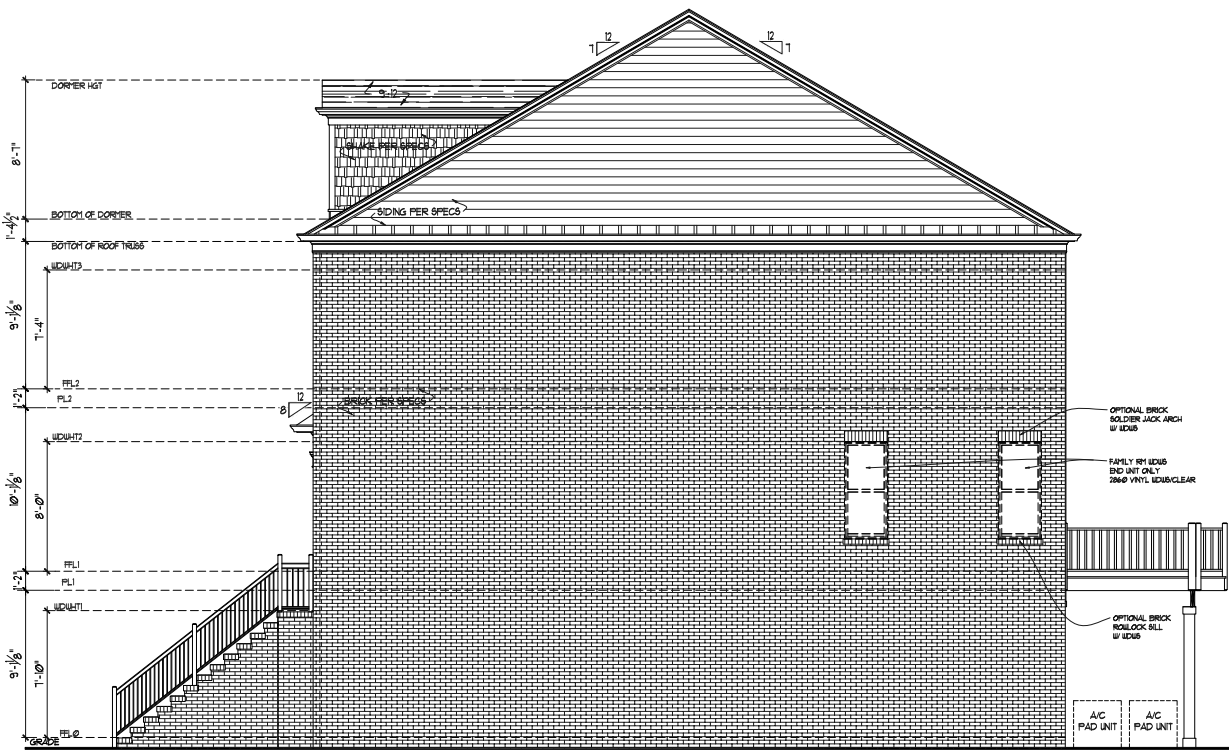
SHEET NO.

A1.4

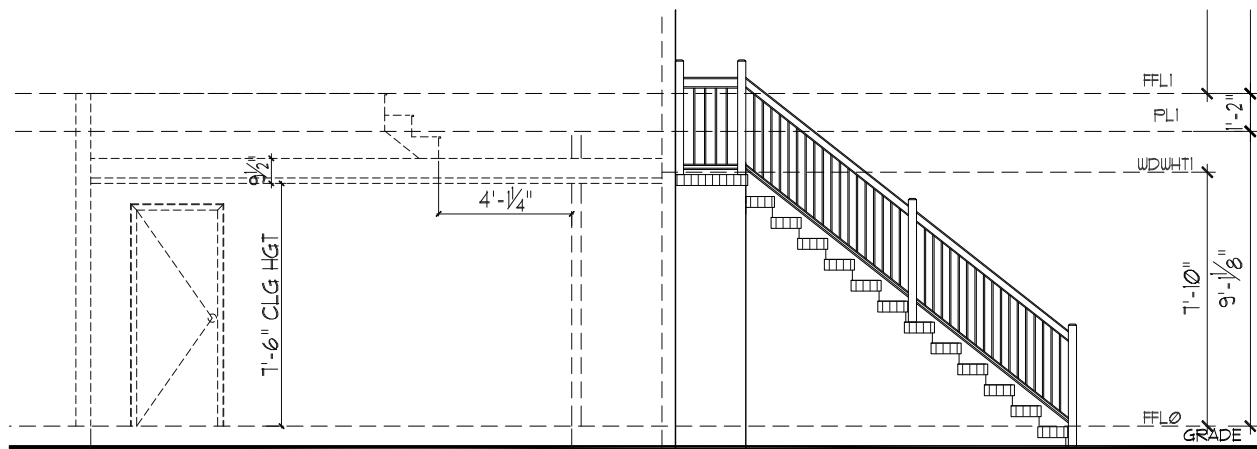
SHEET: 5 OF 10



1 LEFT SIDE ELEVATION "A"
SCALE: 3/16" = 1'-0"



2 RIGHT SIDE ELEVATION "A"
SCALE: 3/16" = 1'-0"



4 LOWER LEVEL - W.I.C. - CLG. HGT. DETAIL
SCALE: 3/8" = 1'-0"



3 REAR ELEVATION
SCALE: 3/16" = 1'-0"

HOME SOUTH
COMMUNITIES

DESIGNER HEREBY EXPRESSLY RESERVES HIS COPYRIGHT AND OTHER PROPERTY RIGHT IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, COPIED OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF THE DESIGNER. FOR ANY OTHER USE, THEY ARE TO BE ASSIGNED TO ANY SUBSET WITHOUT FIRST OBTAINING WRITTEN PERMISSION AND CONSENT. DESIGN DRAWINGS CONTENTS SUBJECT TO ALL APPLICABLE CODES AND APPROVAL BY A LICENSED ENGINEER AND/OR ARCHITECT.

SUB-DIVISION SKYLAND BROOKHAVEN
LOT # LOT#

ISSUED FOR:

- ☐ ESTIMATING
☐ REVIEW
☐ BIDDING
☐ PERMIT
☐ PROTOTYPE
☐ CONST.

REVISED

JOB NO. DRAWN TC
DATE 05-31-2017 CHECKED db
SCALE: APPROV. db

SKYLAND BROOKHAVEN

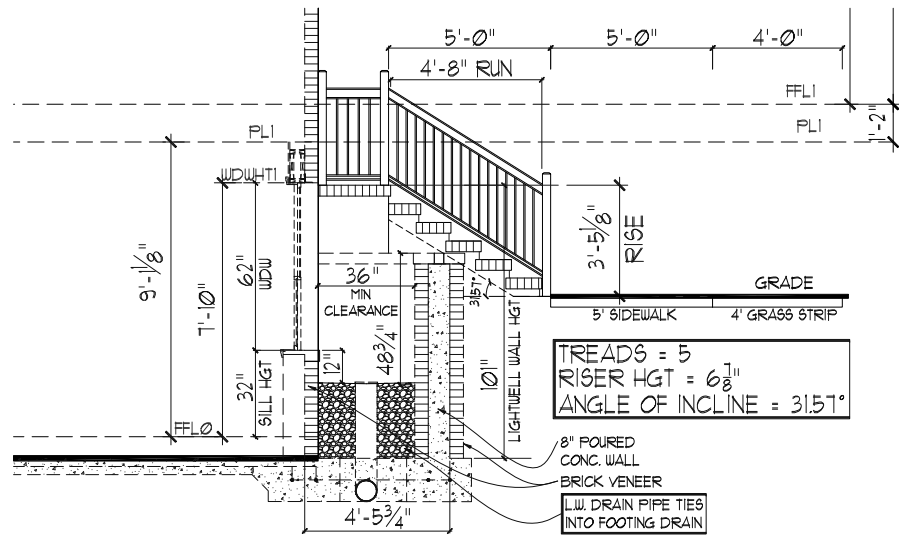
MILLHAVEN

SIDE & REAR ELEVATIONS

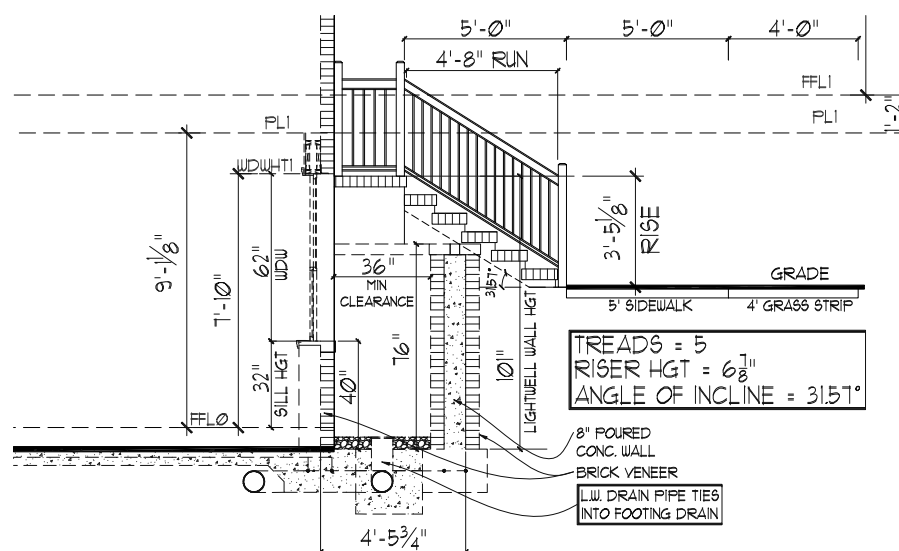
SHEET NO.

A2.1

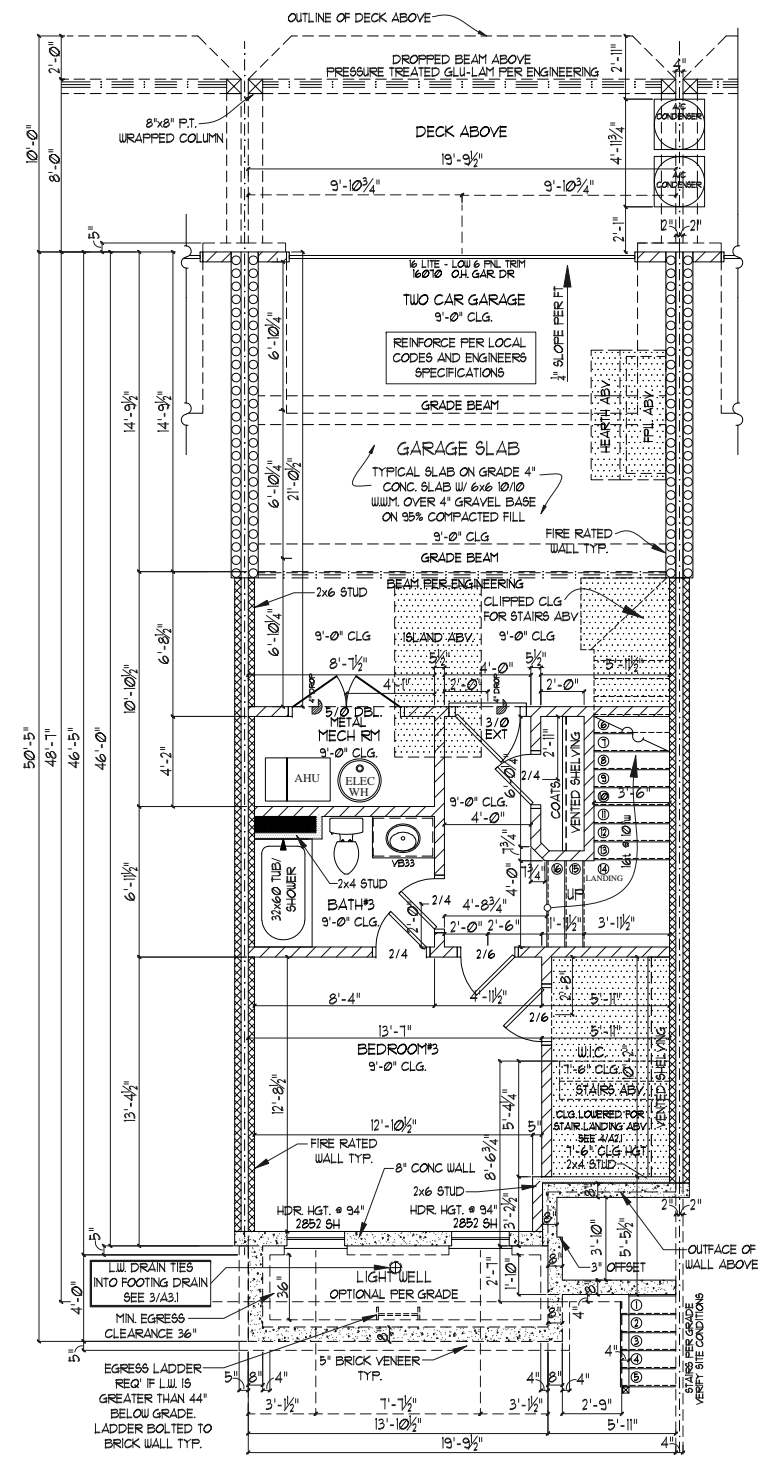
SHEET: 6 OF 10



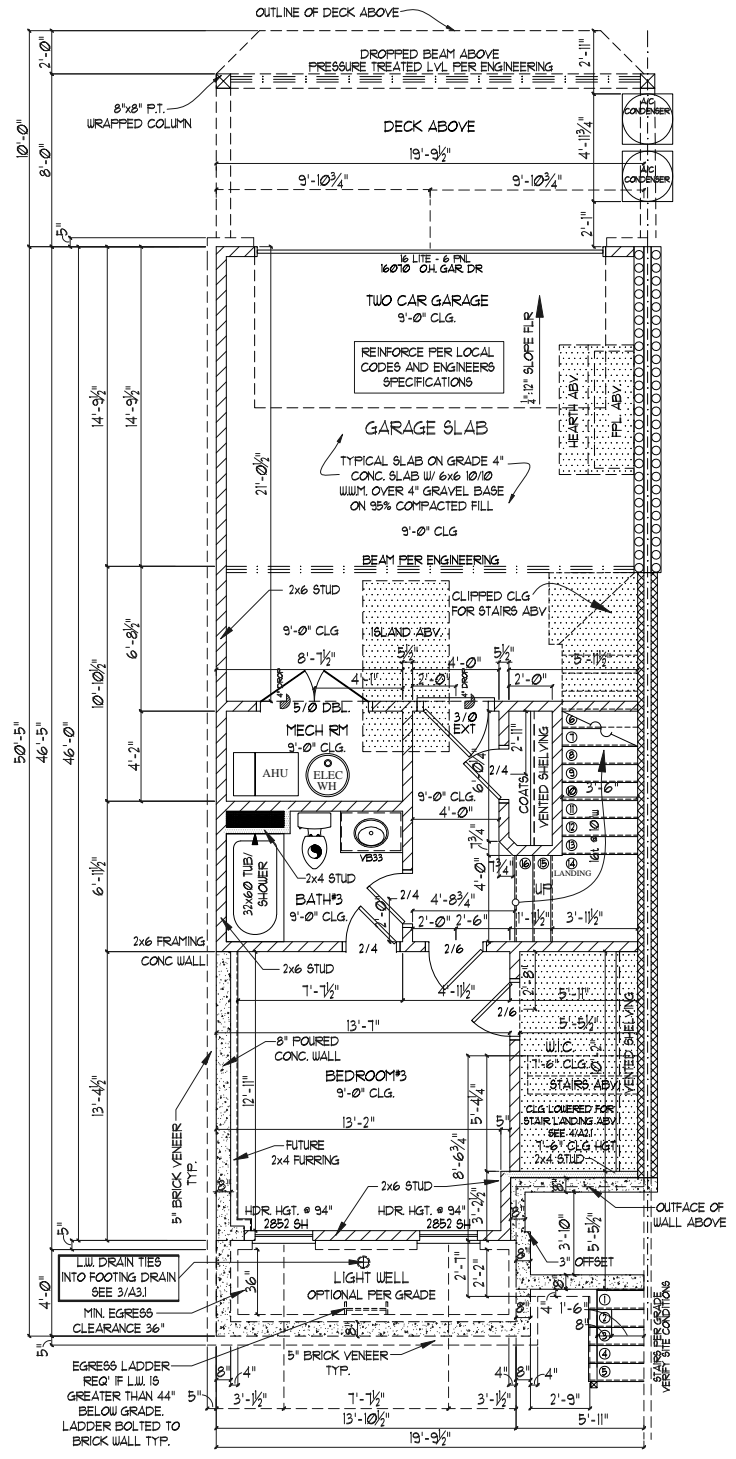
3 LITWELL DRAIN - DETAIL #1
SCALE: 3/8" = 1'-0"



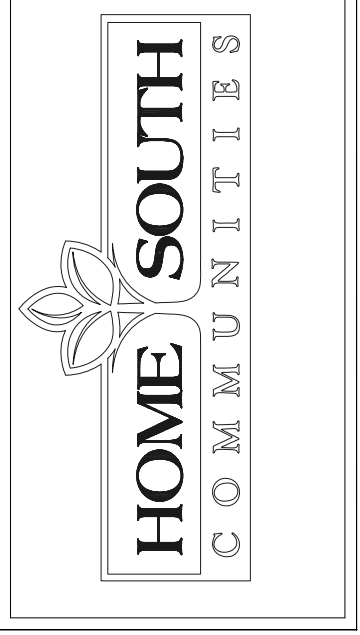
4 LITWELL DRAIN - DETAIL #2 ALTERNATE
SCALE: 3/8" = 1'-0"



1 INTERIOR - LOWER LEVEL ELEV. A, B, C, D
SCALE: 1/4" = 1'-0"



2 END UNIT - LOWER LEVEL ELEV. A, B, C, D
SCALE: 1/4" = 1'-0"



DESIGNER HEREBY EXPRESSLY RESERVES HIS COPYRIGHT AND OTHER PROPERTY RIGHT IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF THE DESIGNER. FOR ANY USE NOT INTENDED BY THE DESIGNER, THE USER SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMISSION AND CONSENT. DESIGN DRAWING CONTENTS SUBJECT TO ALL APPLICABLE CODES, AND APPROVAL BY A LICENSED ENGINEER AND OR ARCHITECT.

SUB-DIVISION
LOT #

- ISSUED FOR:
- ☐ ESTIMATING
 - ☐ REVIEW
 - ☐ BIDDING
 - ☐ PERMIT
 - ☐ PROTOTYPE
 - ☐ CONST.

REVISED	

JOB NO. _____ DRAWN _____ TC _____
DATE 05-31-2017 CHECKED _____ db _____
SCALE: _____ APROV. _____ db _____

SKYLAND BROOKHAVEN

MILLHAVEN

LOWER LEVEL FOUNDATION

SHEET NO.

A3.1

SHEET: 7 OF: 10



SQUARE FOOTAGE:	
TERRACE LEVEL	472
MAIN LEVEL	895
UPPER LEVEL A, B / C, D	851 / 836
TOTAL HEATED A, B / C, D	2218 / 2203
2 CAR GARAGE	416
COVERED STOOP	17
DECK	197
TOTAL FRAMED A, B / C, D	2848 / 2833



DESIGNER HEREBY EXPRESSLY RESERVES HIS COPYRIGHT AND OTHER PROPERTY RIGHT IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF THE DESIGNER. NOR ARE THEY TO BE ASSIGNED TO ANY INTERESTS WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT. DESIGN DRAWING CONTENTS SUBJECT TO ALL APPLICABLE CODES, AND APPROVAL BY A LICENSED ENGINEER AND OR ARCHITECT.

SUB-DIVISION _____
LOT # _____

ISSUED FOR:

- ☐ ESTIMATING
 - ☐ REVIEW
 - ☐ BIDDING
 - ☐ PERMIT
 - ☐ PROTOTYPE
 - ☐ CONST.

REVISÉ

JOB NO.	_____	DRAWN	_____ TC
DATE	05-31-2017	CHECKED	_____ db
SCALE:	_____	APROV.	_____ db

SKYLAND BROOKHAVEN

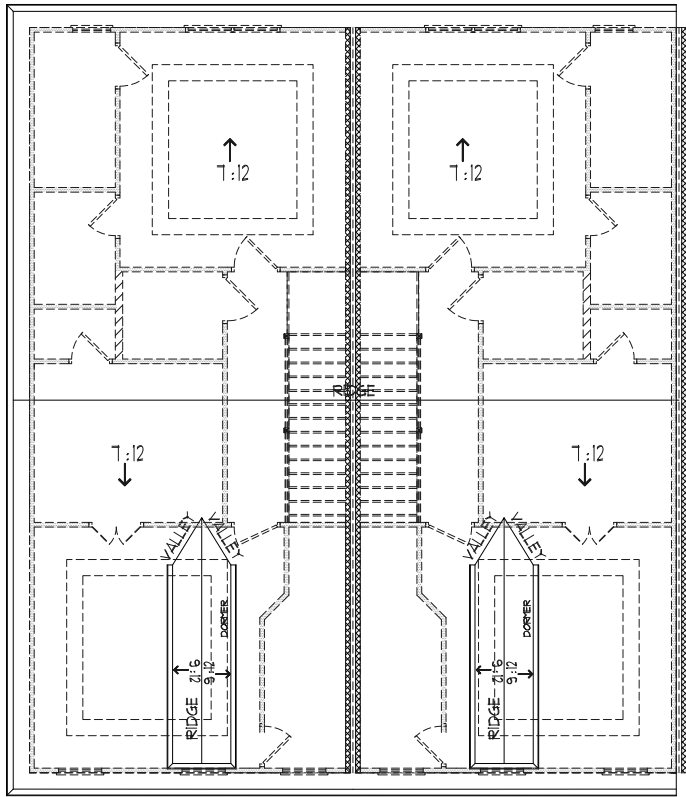
MILLHAVEN

FLOOR PLANS

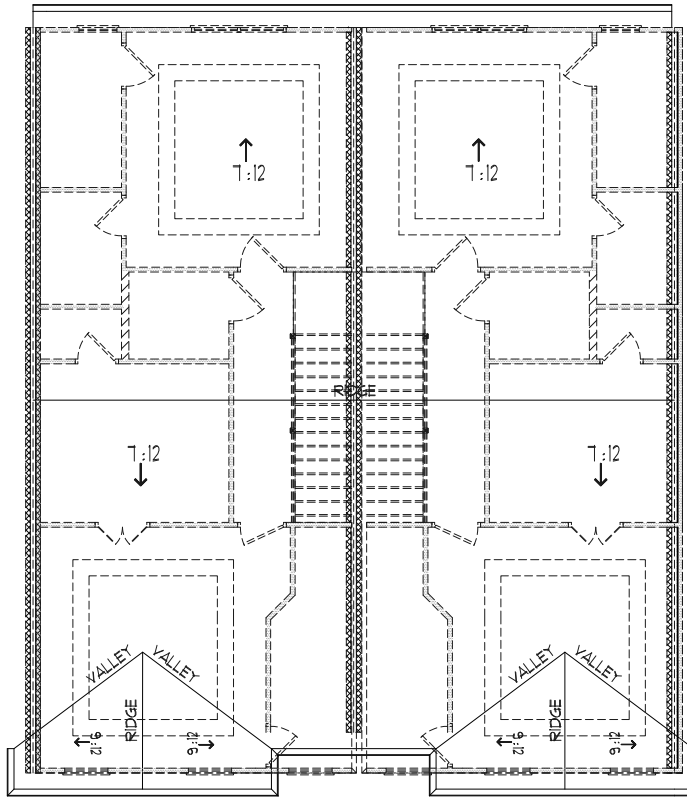
SHEET NO.

A4.1

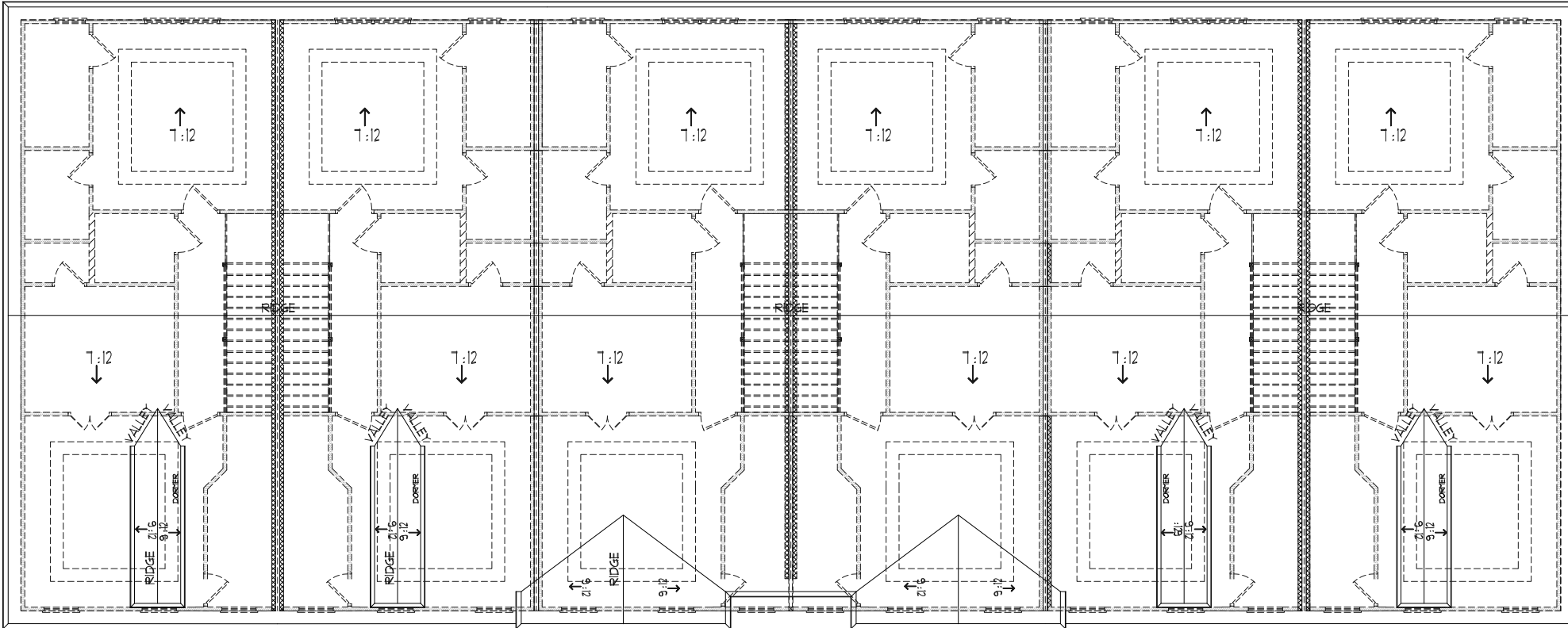
SHEET: 8 OF: 10



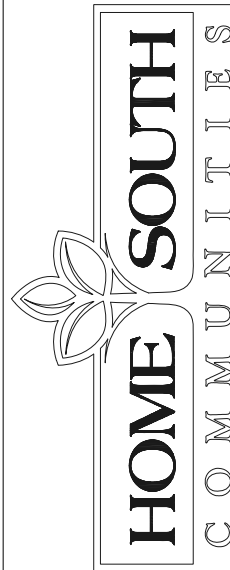
1 TYPICAL ROOF PLAN - ELEV A & B
SCALE: 3/16" = 1'-0"



2 TYPICAL ROOF PLAN - ELEV C & D
SCALE: 3/16" = 1'-0"



3 TYPICAL ROOF PLAN - 6 UNIT BUILDING
SCALE: 3/16" = 1'-0"



DESIGNER HEREBY EXPRESSLY RESERVES HIS COPYRIGHT AND OTHER PROPERTY RIGHT IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF THE DESIGNER. WORK ARE THEY TO BE ASSIGNED TO ANY SUGGESTS WITHOUT FIRST OBTAINING AND WRITTEN PERMISSION AND CONSENT. DESIGN DRAWING CONTENTS SUBJECT TO ALL APPLICABLE CODES, AND APPROVAL BY A LICENSED ENGINEER AND OR ARCHITECT.

SUB-DIVISION _____
LOT # _____

ISSUED FOR:

- ☐ ESTIMATING
☐ REVIEW
☐ BIDDING
☐ PERMIT
☐ PROTOTYPE
☐ CONST.

REVISED

JOB NO.	_____	DRAWN	TC
DATE	05-31-2017	CHECKED	db
SCALE:	_____	APPROV.	db

SKYLAND BROOKHAVEN

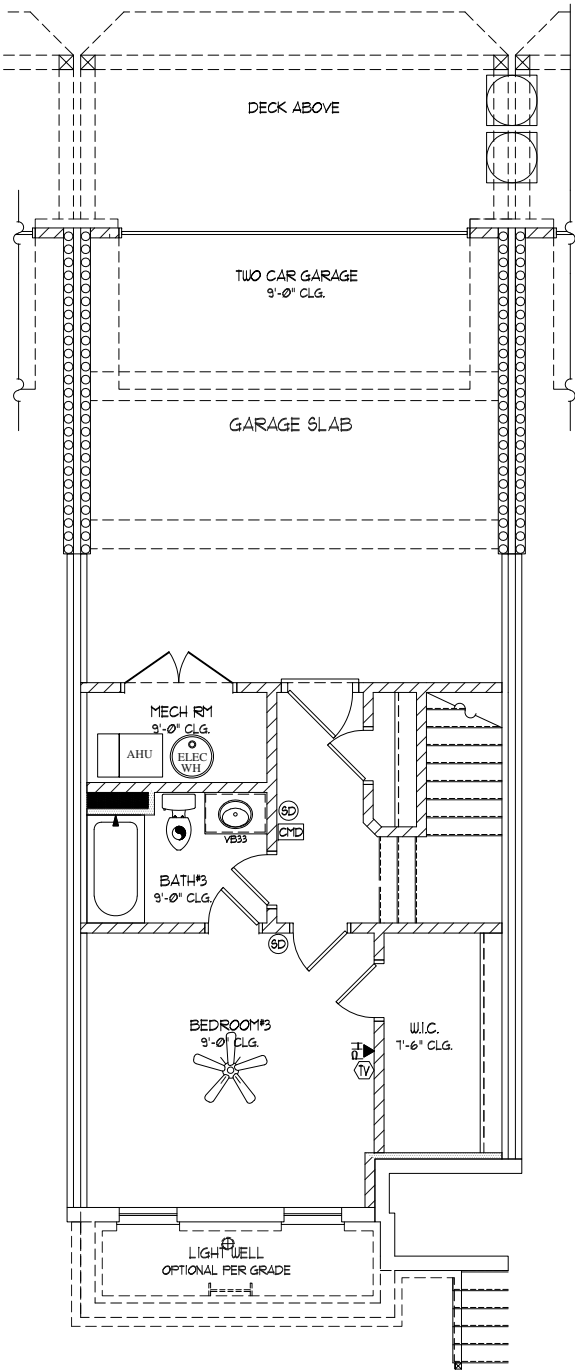
MILLHAVEN

ROOF PLANS

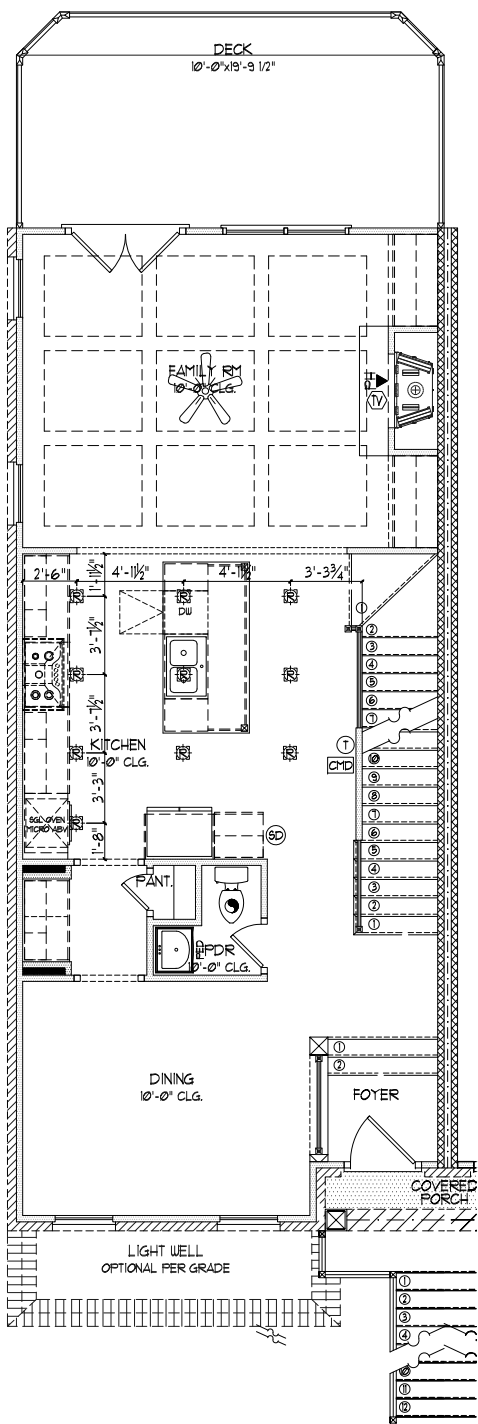
SHEET NO.

A5.1

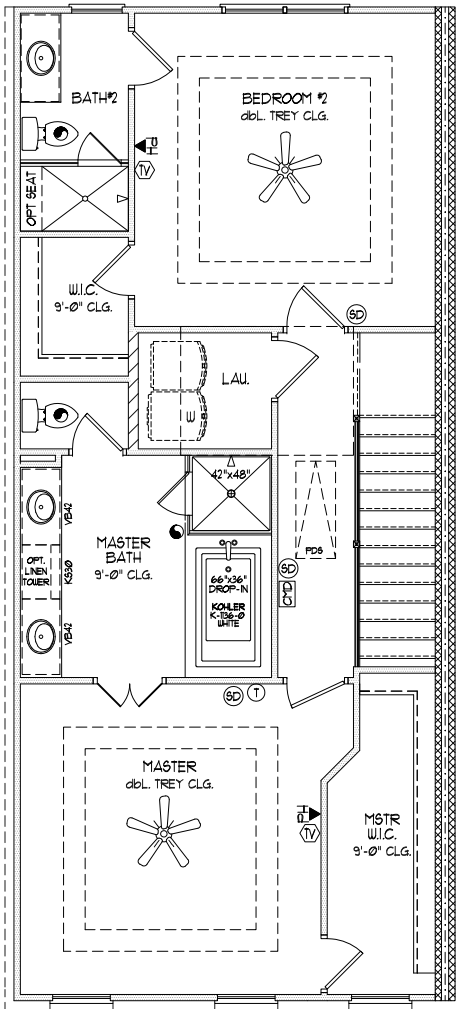
SHEET: 9 OF 10



1 TYPICAL - INTERIOR - LOWER LEVEL
SCALE: 1/4" = 1'-0"

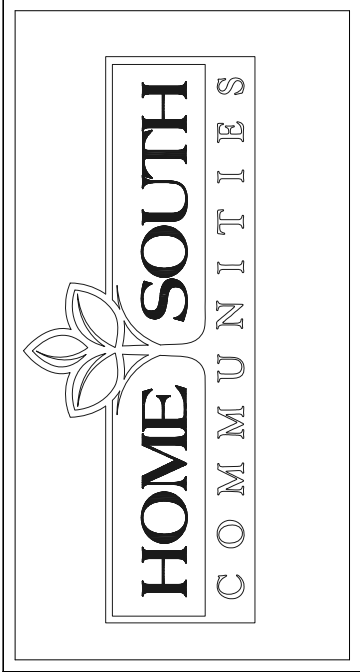


2 MAIN LEVEL
SCALE: 1/4" = 1'-0"



3 UPPER LEVEL
SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND			
	Gas Line		Recessed Can Light
	Cold Water		Eyeball Light
	Electrical Panel		Wall Mounted Light
	Electrical Meter		Wall Sconce
	Disconnect Switch		Fluorescent Light w/1 Bulb
	Switch		Fluorescent Light w/2 Bulbs
	3-Way Switch		Vapor Protected Light
	4-Way Switch		Exhaust Fan
	Dimmer Switch		Exhaust Fan w/Light
	Button		Exhaust Fan w/Heat & Light
	Duplex Outlet		Smoke Detector
	Quadplex Outlet		Carbon Monoxide Detector
	Switched Duplex Outlet		Thermostat
	Floor Outlet		Direct Wire
	GFI Outlet		Phone Jack
	Water Proof GFI Outlet		Media Jack
	Ceiling Mounted Outlet		Cable TV Outlet
	220V Outlet		Door Chimes
	Ceiling Mounted Light		Security Panel
	Hanging Ceiling Mounted Light		Flood Light
	Ceiling Fan		Ceiling Fan w/Light



DESIGNER HEREBY EXPRESSLY RESERVES HIS COPYRIGHT AND OTHER PROPERTY RIGHT IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF THE DESIGNER. HERE ARE THEY TO BE ASSIGNED TO ANY INTERESTS WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT. DESIGN DRAWING CONTENTS SUBJECT TO ALL APPLICABLE CODES AND APPROVAL BY A LICENSED ENGINEER AND OR ARCHITECT.

SUB-DIVISION _____
LOT # _____

ISSUED FOR:

☐ ESTIMATING

☐ REVIEW

☐ BIDDING

☐ PERMIT

☐ PROTOTYPE

☐ CONST.

REVISED	

JOB NO. _____ DRAWN _____ TC
DATE 05-31-2017 CHECKED _____ db
SCALE: _____ APROV. _____ db

SKYLAND BROOKHAVEN

MILLHAVEN

ELECTRICAL PLANS

SHEET NO.

A6.1

SHEET: 10 OF: 10