

City of Sugar Hill
Planning Staff Report
AX 17-002



DATE: December 18, 2017; **Updated 3/12/2018**
TO: Mayor and City Council
FROM: Planning Director **KA**
SUBJECT: **Updated Recommended Conditions & Exhibits**
Annexation AX 17-002
770 Buford Highway, Tax Parcels # 7-256-009, 011,126 & 127
918 Buford Highway Tax Parcel # 7-256-154

RECOMMENDED ACTION (3/12/2018)

Annex and rezone tax parcel 7-256-154 to O-I (Office-Institutional) with no conditions.

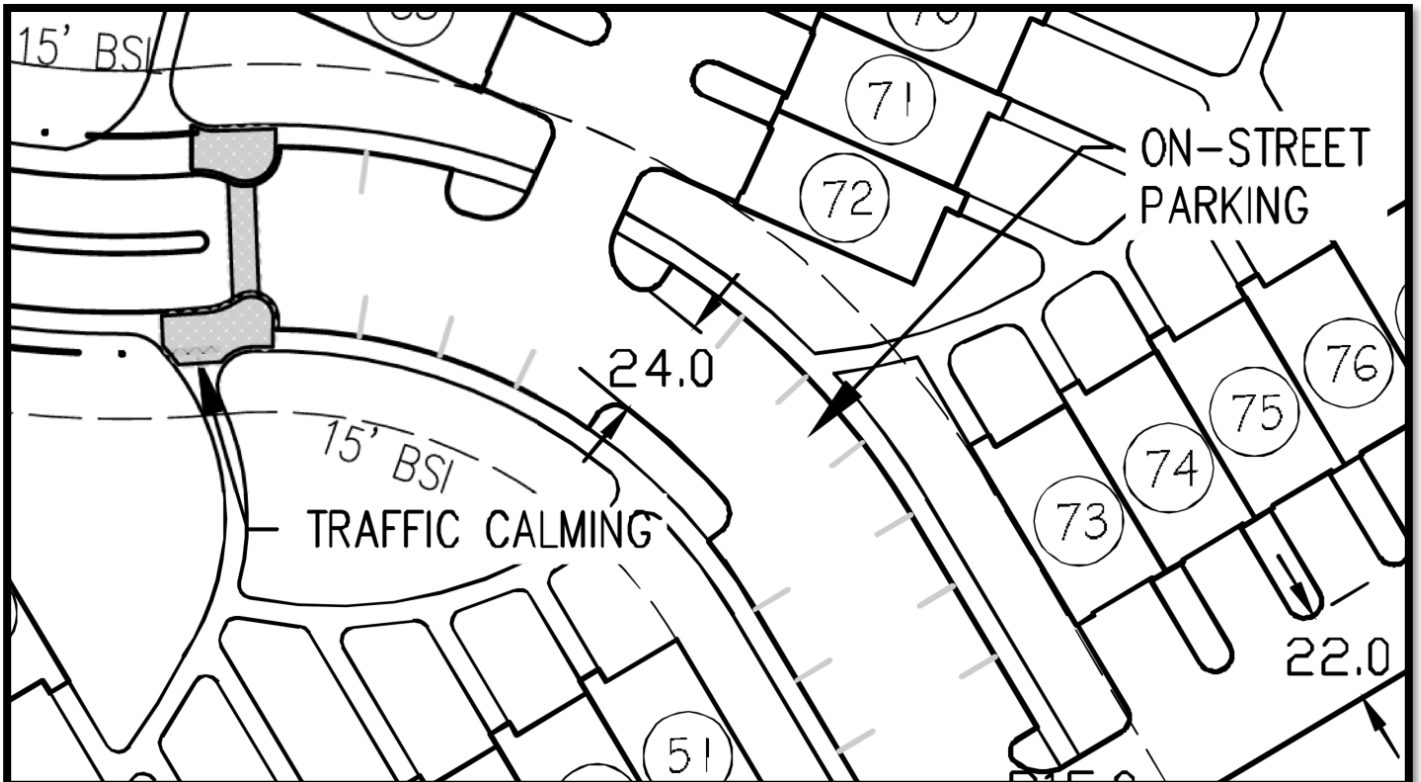
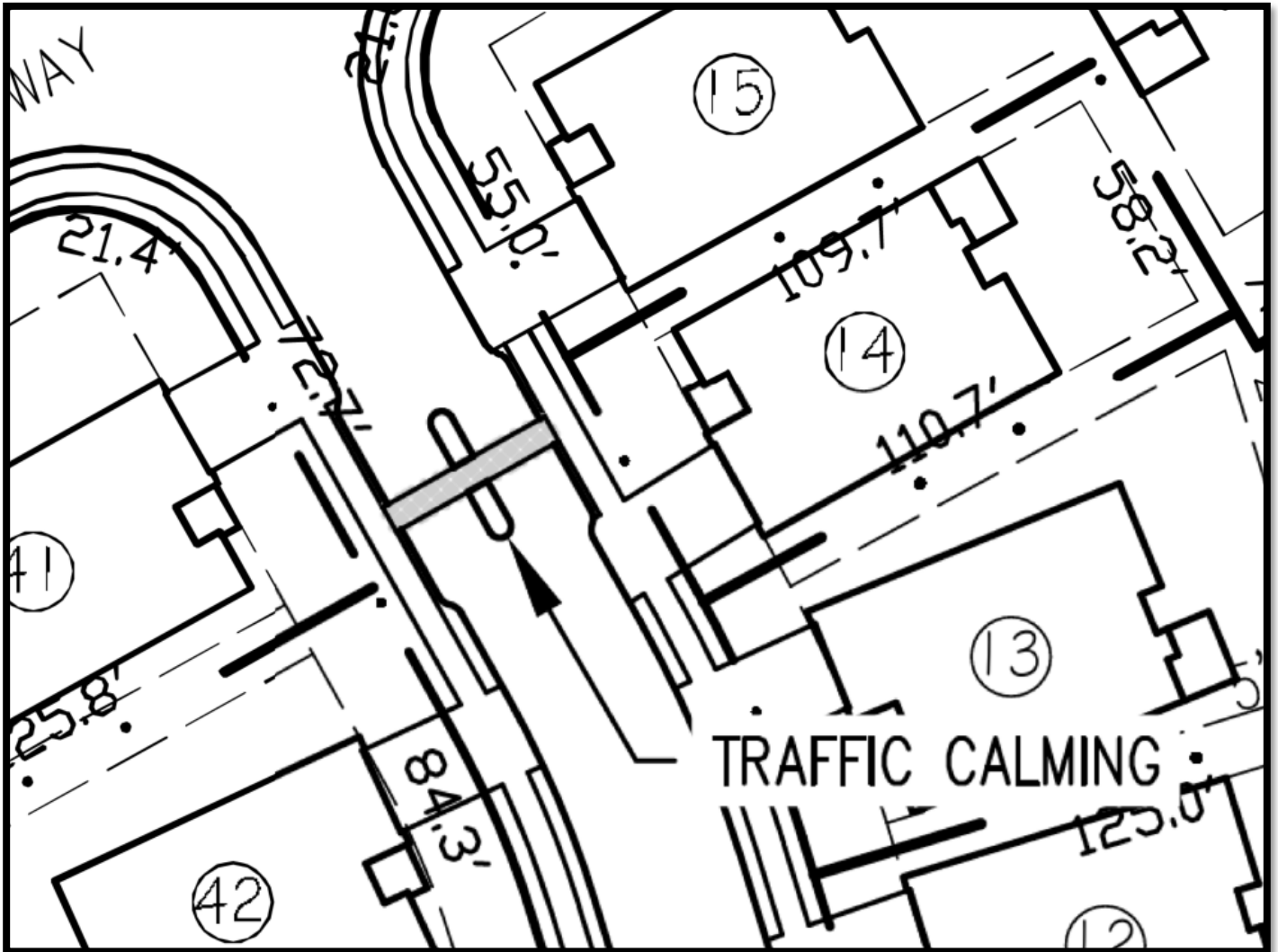
Annex and rezone tax parcels 7-256-009, 011, 126 & 127 to residential multi-family (RM) with the following conditions:

1. ***For single family detached dwellings, the minimum lot size shall be 6,250 square feet and minimum lot width shall be 50'.***
2. Maximum lot coverage shall be 100% for fee-simple townhome lots. The maximum number of townhomes shall be 88 units with no single building containing more than 8 units.
3. All streets, alleys, sidewalks, common area landscaping and storm water infrastructure shall be privately owned and maintained by the homeowners' association (HOA). A copy of the deed dedicating said infrastructure to the HOA and recorded covenants specifying maintenance of the infrastructure shall be provided to the city prior to approval of the final plat.
4. Project access improvements shall be provided on North Price Road and Buford Highway at the developer's expense.
5. Each dwelling unit shall have a minimum two-car garage. ***Minimum front setback shall be 15'. No driveway shall be less than 20' in length as measured from the back of sidewalk for front access or the alley's pavement edge for rear/alley access. Each alley shall be a minimum of 17' and a maximum of 22' wide*** subject to approval by Gwinnett County Fire Marshal. No townhome shall be permitted a driveway along any street.
6. Striping for a total quantity of 32 on-street (9' x 22' minimum dimension) parking stalls shall be provided. The minimum travel lane width adjacent to on-street parking stalls shall be 12'. Traffic calming measures as shown on the attached Exhibit 1 shall be incorporated into the street design at both ends of Street A serving detached single-family dwellings. Street design shall be subject to approval by the city manager.

RECOMMENDED ACTION (Continued on pg. 2)

RECOMMENDED ACTION (3/12/2018)

7. Except in designated on-street parking stalls, overnight on-street parking shall be prohibited. Notice shall be posted in the subdivision and recorded in the covenants. The HOA shall be solely responsible for enforcement.
8. Zoning buffer shall be reduced to a 35' enhanced landscape buffer. Said buffer shall consist of at least a staggered row of evergreen and semi-evergreen trees and shrubs native or adapted to the area. Trees shall be 6' tall at time of planting. Plantings shall be arranged to provide an effective visual screen of at least 20' in height at maturity. Buffer must not contain more than ***one-third*** of a single species and must be shown on a landscape plan to be approved by the city manager prior to receiving any permits. Developer shall install the landscaping prior to the first certificate of occupancy issued for a dwelling in the subdivision.
9. Covenants shall stipulate that no more than 10% of the total number of dwelling units are allowed to be leased at any one time. Notice shall be recorded in the covenants.
10. Developer shall provide a left turn lane and right turn deceleration lane into the subdivision from Buford Highway subject to approval by the Georgia Department of Transportation.
11. Developer shall install a masonry entrance feature and a minimum 20' wide landscaped berm a minimum of 3' high at its apex along the project's Buford Highway frontage and contained within an easement to be maintained by the HOA, as recorded in the covenants. Landscape plan and masonry entrance feature to be approved by the city manager prior to issuance of any permits.
12. Developer shall construct at a minimum, a 5' wide concrete sidewalk between the project limits to the existing southwesterly driveway to Lanier High School along Buford Highway, subject to approval by the Georgia Department of Transportation. At the developer's option, an internal connection may be constructed directly to the high school subject to Gwinnett Board of Education approval.
13. An amenity area shall be provided with pool, pavilion, mail kiosk and dedicated parking and dedicated to the HOA. Amenity area shall provide a continuous sidewalk from the street.
14. Exterior materials and architectural detail of each attached/detached dwelling shall resemble the elevations attached as Exhibit 2. ***Quoins, pilasters, columns and similar features may be used to satisfy the "no material change at outside corner" requirement.*** The minimum size for each detached dwelling unit shall be 2,400 heated square feet. Each attached dwelling unit shall be a minimum of 1,750 heated square feet and 24' wide.





SUGAR HILL - ELEVATION

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

MASONRY CALCULATIONS (exclusive of doors & windows)			
Front Facade =	443 SF		
Brick Coverage =	272.6 SF	61.5%	
Shake Coverage =	125.5 SF	28.3%	

REV.

DATE

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Dogwood

Elevation Plans

Front Elevation

drawn by: ---

checked by: BZH

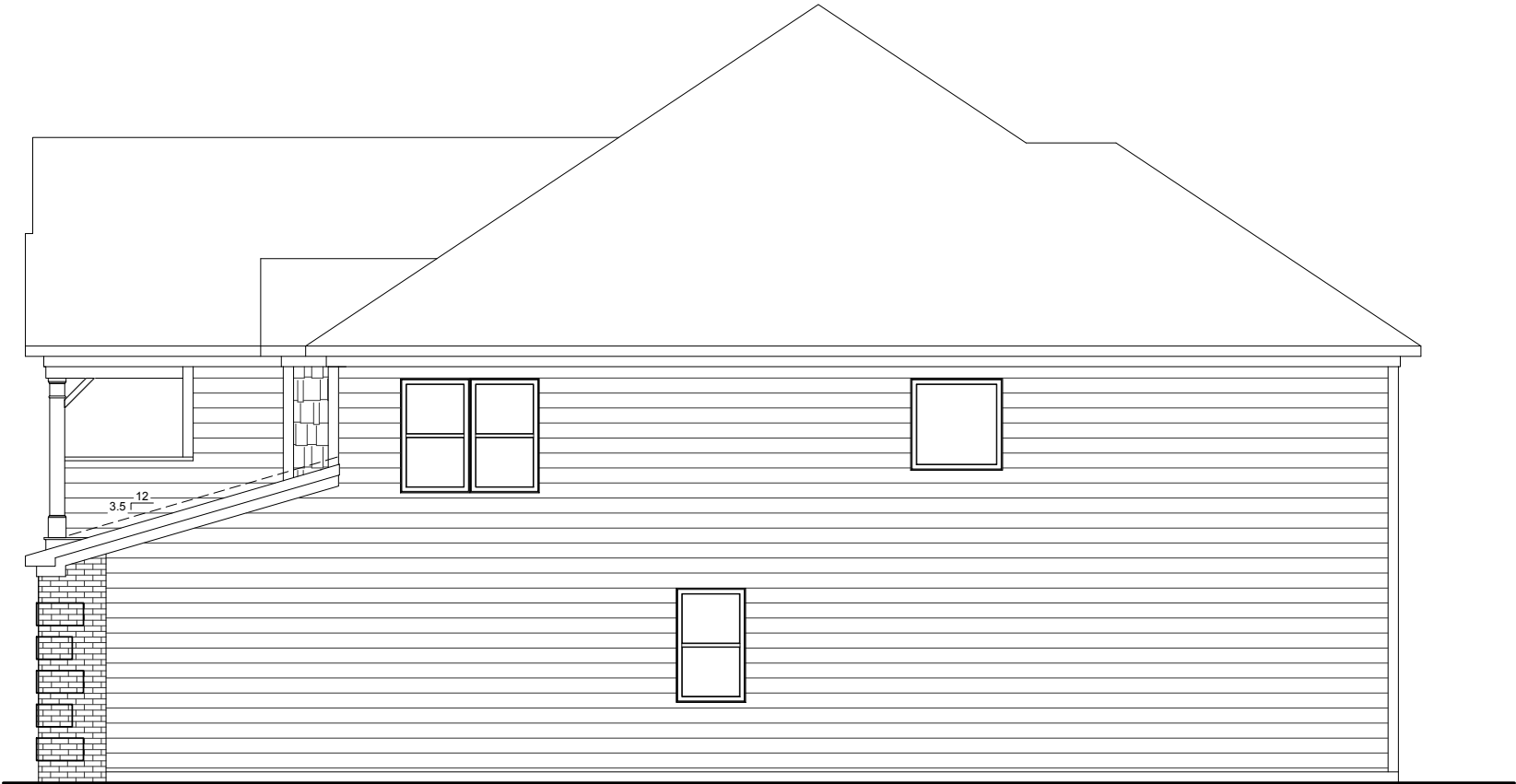
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sheet number: A-3.3



LEFT ELEVATION ACA

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



RIGHT ELEVATION ACA

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

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Dogwood
Elevation Plans
Side Elevations

drawn by: ---
checked by: BZH
date: 02.22.18
sheet number:
A-3.4



SUGAR HILL - ELEVATION

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

MASONRY CALCULATIONS (exclusive of doors & windows)			
Front Facade =	510 SF		
Brick Coverage =	434.6 SF	85.2%	
Stone Coverage =	0 SF	0%	

ASPEN

Elevation Plans

Front Elevation TRL

drawn by: BZH

checked by: ---

date: 02-22-18

sheet number: A-3.0

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REV.	DATE



LEFT ELEVATION -SUGAR HILL

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



RIGHT ELEVATION - SUGAR HILL

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

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ASPEN

Elevation Plans

Side Elevations

drawn by: BZH

checked by: ---

date: 02-22-18

sheet number: A-3.1



SUGAR HILL- ELEVATION
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x34" SHEET SIZE)

MASONRY CALCULATIONS (exclusive of doors & windows)			
Front Facade =	503 SF		
Brick Coverage =	130 SF	25.8%	
Shake Coverage =	137 SF	27.2%	

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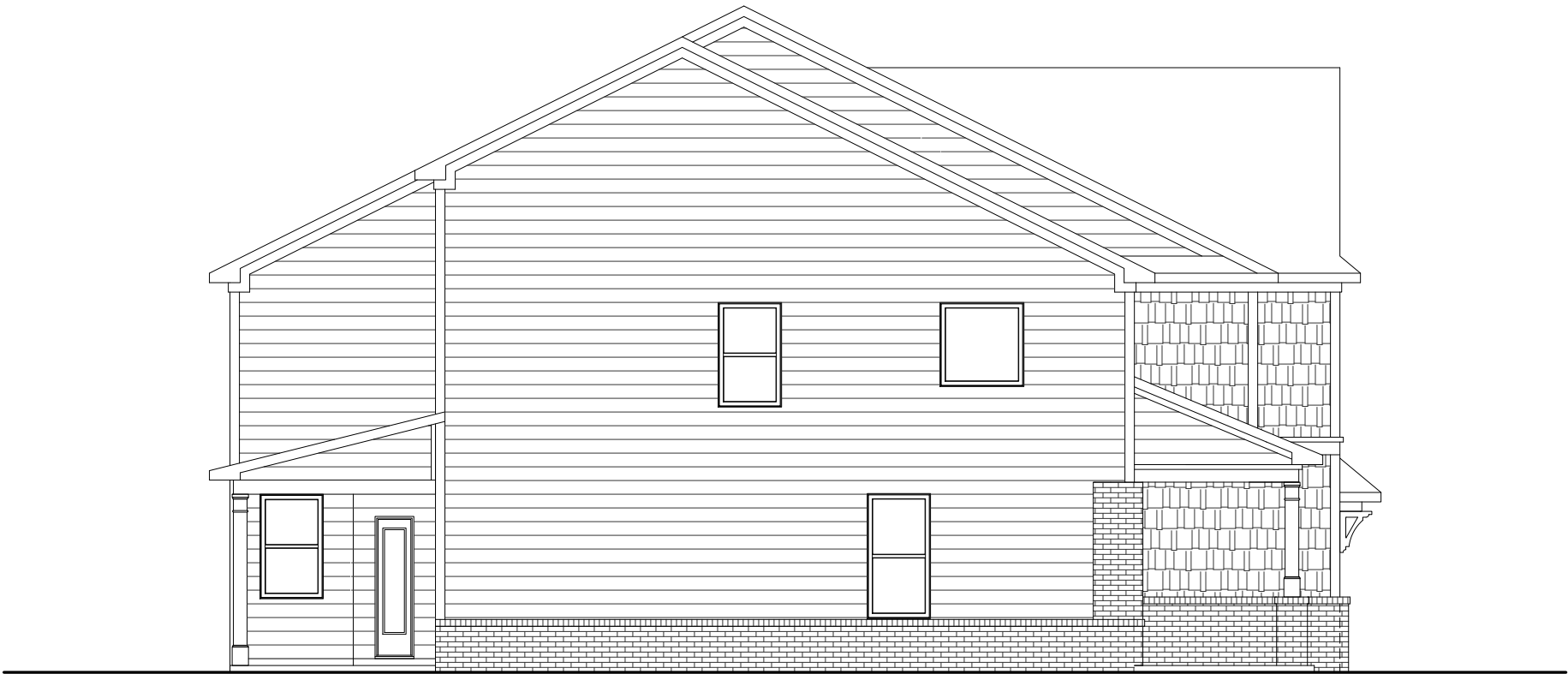
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SPRINGDALE
Elevation Plans
Front Elevation

drawn by: BZH
checked by:
date: 02/22/18
sheet number:

A-3.2



SUGAR HILL
LEFT ELEVATION - SPRINGDALE
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x34" SHEET SIZE)




SUGAR HILL
RIGHT ELEVATION - SPRINGDALE
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x34" SHEET SIZE)

Plot Date: 3/7/2018 5:01:22 PM; By: Travis Simplified Xyaseng

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ATL V6031.3

Elevation Plans

Side Elevations

drawn by: BZH

checked by:

date: 04/20/16

sheet number: A-3.5



FRONT ELEVATION - FCB

FRONT ELEVATION - FCA

FRONT ELEVATION - TRC

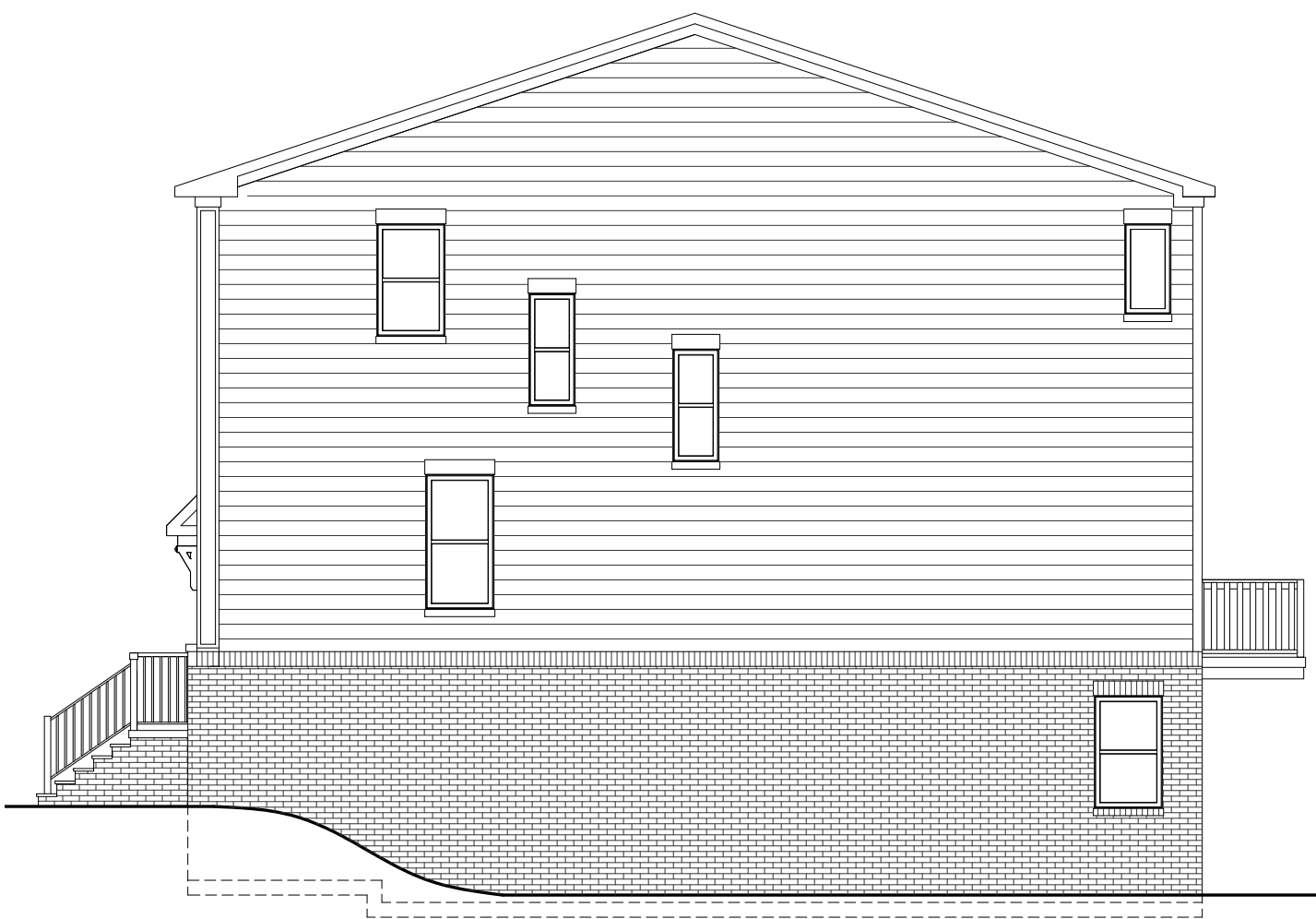
FRONT ELEVATION - ULC

FRONT ELEVATION - ULB

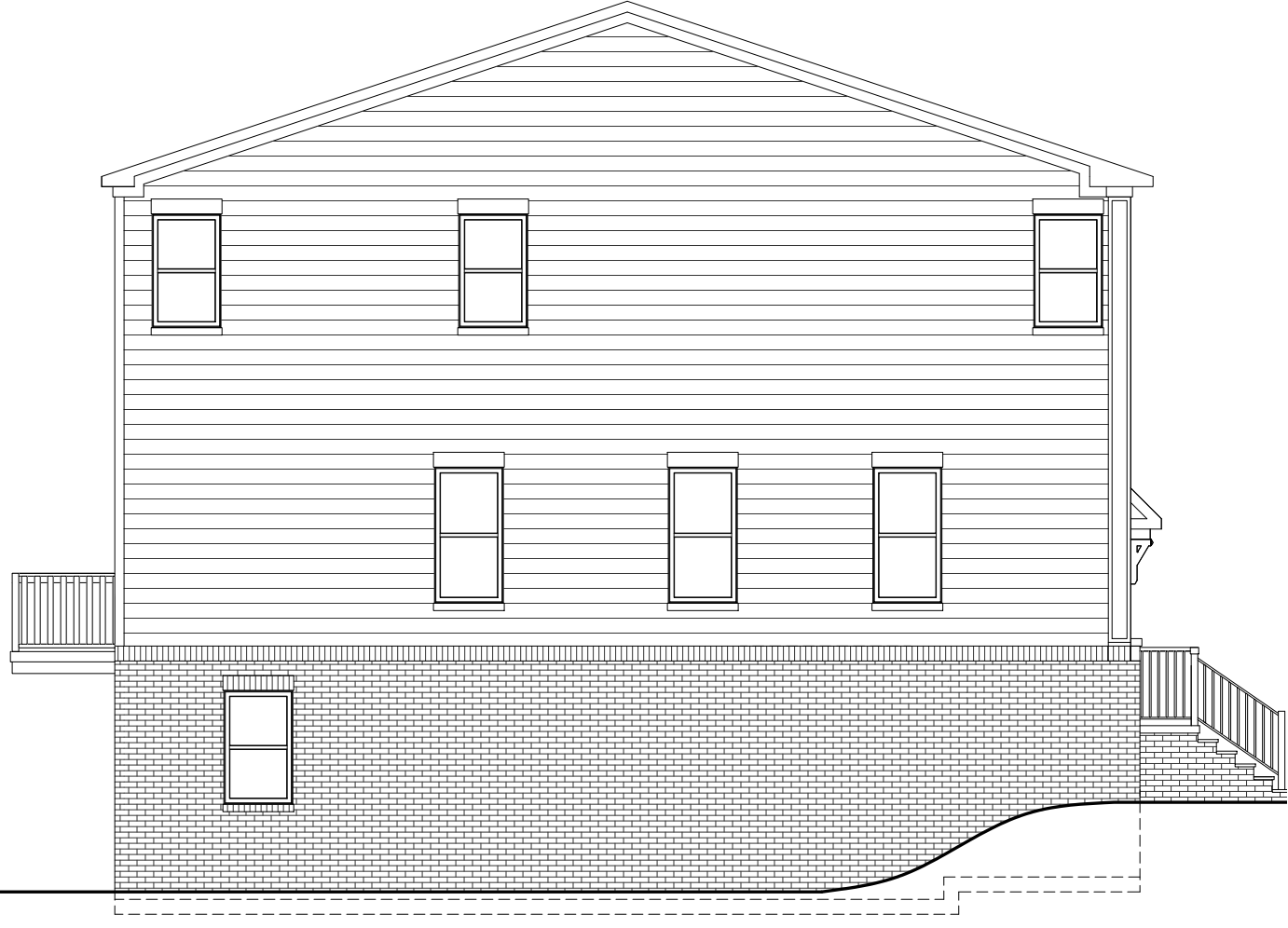
24' Townhomes



BEAZER HOMES SUGAR HILL



RIGHT ELEVATION - SUGAR HILL
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)




LEFT ELEVATION - SUGAR HILL
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

Plot Date: 3/8/2018 7:07:03 PM; By: Travis Simplified Xyasing

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SUGAR HILL 1.0

Elevation Plans

Front & Rear Elevations

drawn by: THX

checked by: ---

date: 01-09-18

sheet number: A-2.3



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SUGAR HILL



These elevations apply to all side or rear elevations which do not face another internal town home building.

REAR ELEVATION
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
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SUGAR HILL 1.0

Elevation Plans

Front & Rear Elevations

drawn by: THX

checked by: ---

date: 01-09-18

sheet number: A-2.1



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SUGAR HILL




REAR ELEVATION
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

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SUGAR HILL 1.0	Elevation Plans	Front & Rear Elevations

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date: 01-09-18

sheet number: A-2.2