

City of Sugar Hill
Planning Staff Report
DRB-CBD 21-003

DATE: January 31, 2022
TO: Mayor and Council, Design Review Board
FROM: Planning Director *VA*
SUBJECT: Central Business District (CBD) Design Review
Mixed-use development with single family attached residential (townhomes) and commercial, Rangewater Real Estate, LLC

REQUEST The City of Sugar Hill has received an application from Rangewater Real Estate, LLC c/o Shane Lanham with Mahaffey Pickens Tucker, LLC requesting design review board approval for a mixed-use development with single family attached residential (townhomes) and commercial land uses.

RECOMMENDED ACTION

Approval of the site plan and buildings in material and architectural detail with the following conditions:

1. Final designs shall substantially resemble the attached exhibits labeled Exhibit 1 through 6. Final material and color selections shall be subject to on-site mock-up approval, with identified materials.
2. A substantial gateway art feature shall be incorporated into the site design. The final design and location shall be approved by the City Manager prior to releasing permits and installed prior to final certificate of occupancy.
3. Sidewalks along Highway 20 shall be constructed in accordance with the paver details currently approved for use in the Central Business District by the city and GA Department of Transportation (refer to Exhibit 6).
4. Ornamental streetlights approved by GA Dept. of Transportation for Highway 20 shall be installed along the Hwy 20 frontage (refer to Exhibit 6).

DISCUSSION

- Land use was previously approved and CBD boundary expanded to include the subject property under rezoning case RZ 21-005 on September 13, 2021.
- Proposed development includes 125 townhomes. There are 15 four-story homes fronting Highway 20. The remaining homes are all three-story. Most are front entry arranged around a pedestrian oriented streetscape or common green space amenity.
- 5,000 square feet of retail space has been planned for the corner of Bailey Avenue and Highway 20 with a small off-street parking area behind. Limited information has been provided for the commercial building and will require subsequent design review board approval prior to permitting.

APPLICANT/OWNER: Rangewater Real Estate, LLC, c/o Shane Lanham with Mahaffey Pickens Tucker, LLP Kittle Homes

EXISTING ZONING: General Business District/Town Center Overlay District/Central Business District (BG/TCO/CBD).

REQUEST: Design review approval, mixed use townhome residential development.

PROPERTY SIZE: ± 10.579 Acres, Tax Parcel #'s: R7-306-089 & R7-306-

LOCATION: 5000 & 5252 Nelson Brogdon Boulevard.

Parcel is currently an old abandoned cabinet shop with office and warehouse uses.

DESIGN REVIEW CRITERIA

1. Is the proposed project consistent with the adopted design guidelines for the type of development, and/or the proposed use?

The CBD requirements are designed to foster development of the city center using traditional block patterns characterized by common side walls, building fronts abutting the sidewalk and on-street parking; breaking up large blocks; optimizing multi-modal connectivity and incorporating small public gathering spaces.

The proposed design is consistent with the adopted design guidelines. The buildings provide pedestrian-scale architectural elements and street level commercial use(s) at the corner of Bailey Avenue and Highway 20. The site includes pedestrian oriented streetscape elements and integrates space for public gathering as well.

2. Is the proposed project consistent and compatible with the nature and character of the surrounding areas?

The proposed designs are consistent with the adopted vision and emerging character of Downtown Sugar Hill.

3. Are the site design, landscaping, general design, character, arrangement and scale of buildings, texture, materials and colors of the project similar to or compatible with features or structures in the area.

The proposed elevations and conceptual site plans are compatible in scale, material selection, and general design character with the nearby proposed development.

4. *Will the interior arrangement or use have any effect on exterior architectural features and otherwise complies with the standards of this ordinance?*

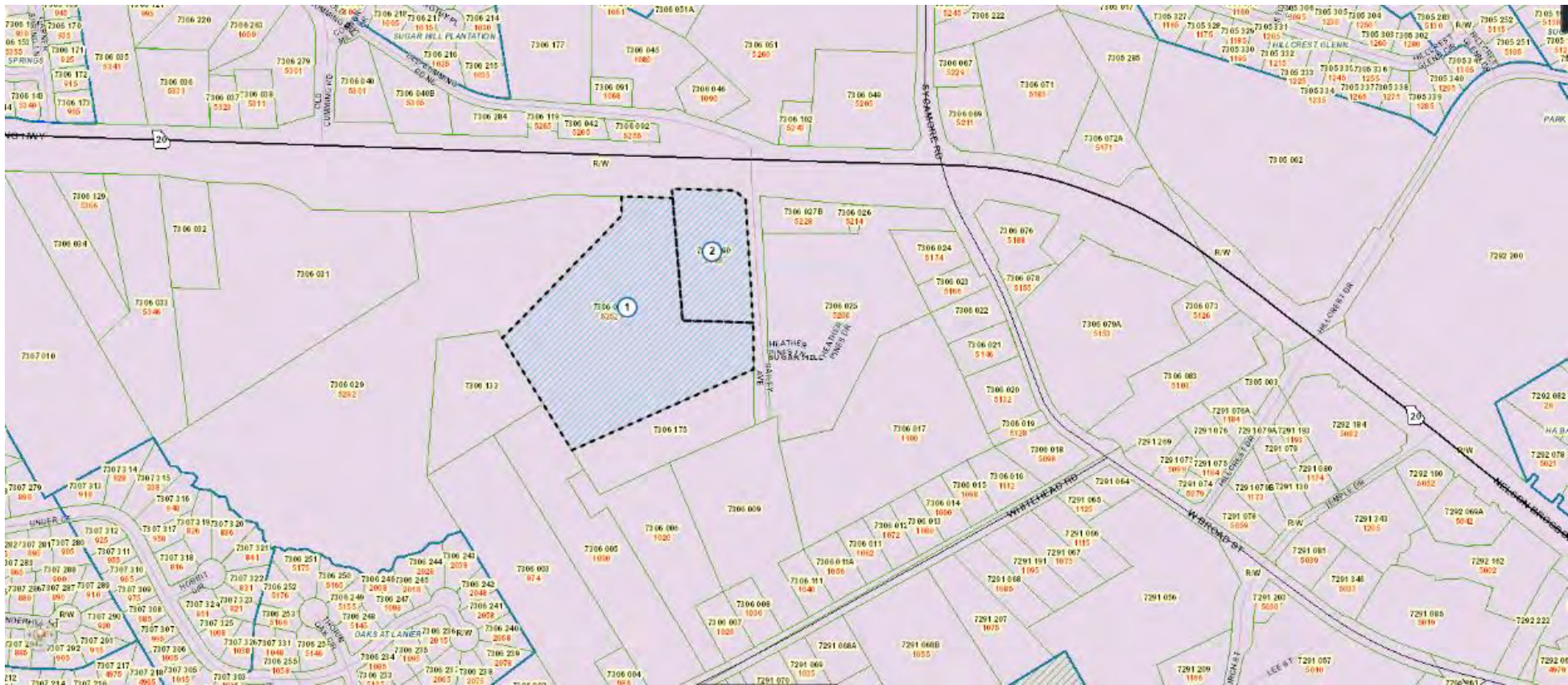
The design team will need to ensure that any interior changes to the configuration do not adversely affect the layout of the facade.

5. *Does the project contribute or resemble the following criteria for considering a design inappropriate?*

Character foreign to the area / Arresting and spectacular effects / Violent contrasts of material or color, or intense or lurid colors / A multiplicity or incongruity of details resulting in a restless and disturbing appearance / The absence of unity and coherence in composition not in consonance with the density and character of the present structure or surrounding area.

The proposed changes do not contribute to any of the listed inappropriate design criteria.

DRB-CBD 21-003
LOCATION MAP
BG, TCO and CBD Overlay
Design Review Approval



DEVELOPMENT SUMMARY:

SITE SUMMARY:
 CURRENT ZONING: LM
 PROPOSED ZONING: BG WITH CBD OVERLAY
 SITE AREA: 10.579 ACRES
 TAX PARCELS: R7306 089
 R7306 090
 SETBACK REQUIREMENTS:
 REQUIRED:
 FRONT: 0-12 FT
 BACK: 30 FT
 SIDE: 10 FT
 PROVIDED:
 FRONT: VARIES
 BACK: 30 FT
 SIDE: 10 FT
PROPOSED LAND USES & DENSITIES:
 PROPOSED USE: TOWNHOMES AND RETAIL AND/OR COMMERCIAL
 TOWNHOMES: 124 UNITS
 TYPE CLARENDON (4-STORY): 645 SF
 TYPE MOZART (3-STORY): 720 SF
 TYPE BEETHOVEN: 660 SF
 CLUBHOUSE: 1,500 SF
 RETAIL/COMMERCIAL: 4,500 SF
 MAXIMUM DENSITY ALLOWED: 12 UNITS/ACRE
 PROPOSED: 11.72 UNITS/ACRE
 MAXIMUM LOT COVERAGE: NONE
 MAXIMUM IMPERVIOUS: NONE
 MAXIMUM BUILDING HEIGHT: ALLOWED: 70 FT
 PROPOSED: 4 STORIES
 GREENSPACE AREA PROPOSED: ~2.5 ACRES (23%)
PARKING SUMMARY:
 REQUIRED PARKING: 300 SPACES (TOTAL)
 SINGLE FAMILY TOWNHOUSE (124 UNITS): 248 SPACES (2.0/UNIT)
 RETAIL/COMMERCIAL (4,500 SF): 45 SPACES (1.0/100 SF)
 PROPOSED PARKING: 461 SPACES (TOTAL)
 SINGLE FAMILY TOWNHOUSE: 383 SPACES
 RETAIL/COMMERCIAL: 45 SPACES
 PRIVATE ON-STREET PARKING: 18 SPACES
 PUBLIC ON-STREET PARKING: 15 SPACES
 HANDICAP: 4 SPACES



1. BRICK PAVER BANDING, TYP. NTS

10' LANDSCAPE STRIP, 615' LONG
 25 TREES AND 25 SHRUBS REQUIRED
 25 TREES AND 25 SHRUBS PROVIDED

30' LANDSCAPE STRIP, 450' LONG
 MIX OF LARGE CANOPY TREES,
 EVERGREEN TREES, ORNAMENTAL TREES,
 LARGE EVERGREEN SHRUBS, SMALL
 EVERGREEN SHRUBS, AND SEEDED LAWN



0'-12' (VARYING) FRONT
 LANDSCAPE STRIP, 313' LONG
 SMALL UNDERSTORY TREES,
 SMALL EVERGREEN SHRUBS,
 AND SEEDED LAWN

PROPOSED STREET LIGHT,
 TYP.
 PROPOSED MONUMENT SIGN



VICINITY MAP

Trees	Common	Canopy Area / Tree (SF)	Total Canopy Area (SF)
25	TRIDENT MAPLE	314	7850
55	ARMSTRONG' RED MAPLE	962	52910
3	AUTUMN BLAZE RED MAPLE	314	942
14	DOWNY SERVICEBERRY	314	4396
43	PYRAMIDAL EUROPEAN HORNBEAM	314	13502
15	AMERICAN HORNBEAM	314	4710
27	BLUE DEODAR CEDAR	707	19089
11	WHITE FRINGETREE	491	5401
46	GOLDSPIRE MAIDENHAIR TREE	314	14444
4	EMILY BRUNER HOLLY	314	1256
8	WHITE CRAPE MYRTLE	314	2512
24	SOUTHERN MAGNOLIA	1256	30144
18	JANE' MAGNOLIA	491	8838
17	STAR MAGNOLIA	177	3009
3	TUPELO	1590	4770
6	YOSHINO CHERRY	707	4242
23	SCARLET OAK	1590	36570
14	BALD CYPRESS	491	6874
30	DEGROOT'S SPIRE ARBORVITAE	177	5310
11	ATHENA ELM	1590	17490
Total Canopy Coverage		53%	244259
Total Site Area (AC)		10.579	460821.24

16 TDU / AC	TREE DENSITY REQUIREMENTS	TOTAL TDU REQUIRED =	169.26
COMMON NAME	SITE ACERAGE = 10.579	Density Units	QTY.
TRIDENT MAPLE	2" CAL	0.5	25
ARMSTRONG' RED MAPLE	2" CAL	0.5	55
AUTUMN BLAZE RED MAPLE	2" CAL	0.5	3
DOWNY SERVICEBERRY	1.5" CAL	0.4	14
PYRAMIDAL EUROPEAN HORNBEAM	2" CAL	0.5	43
AMERICAN HORNBEAM	2" CAL	0.5	15
BLUE DEODAR CEDAR	2" CAL	0.5	27
WHITE FRINGETREE	1.5" CAL	0.4	11
GOLDSPIRE MAIDENHAIR TREE	2" CAL	0.5	46
EMILY BRUNER HOLLY	1.5" CAL	0.4	7
WHITE CRAPE MYRTLE	15 GAL	0	8
SOUTHERN MAGNOLIA	1.5" CAL	0.4	24
JANE' MAGNOLIA	1.5" CAL	0.4	18
STAR MAGNOLIA	1.5" CAL	0.4	17
TUPELO	1.5" CAL	0.4	3
YOSHINO CHERRY	1.5" CAL	0.4	6
SCARLET OAK	2" CAL	0.5	23
BALD CYPRESS	1.5" CAL	0.4	14
DEGROOT'S SPIRE ARBORVITAE	15 GAL	0	30
ATHENA ELM	2" CAL	0.5	11
TOTAL TDU PROVIDED =		169.6	169.6
TREE DENSITY REQUIREMENT SATISFIED			

NOTE: EXISTING TREES TO BE SURVEYED AND COUNTED TOWARDS TREE DENSITY UNITS AS APPLICABLE.

PARKING TREE CALCULATIONS
 OFF-STREET PARKING LOT PLANTING REQUIREMENTS
 PER CITY OF SUGAR HILL BUFFER, LANDSCAPE, TREE ORDINANCE:

PROVIDE 1 TREE PER 5 PERIMETER PARKING SPACES
 TOTAL PARKING SPACES = 413
 TREES REQUIRED (413/5) = 82.6
 TREES PROVIDED = 370

GENERAL NOTES

- OWNER/DEVELOPER: RANGEWATER REAL ESTATE
 5605 GLENRIDGE DRIVE NE, SUITE 775
 ATLANTA, GA 30342
 CONTACT: TREVOR KIERCHECKI
 TEL: (470) 312-2891
- LANDSCAPE ARCHITECT: IRONWOOD DESIGN GROUP
 425 S ATLANTA STREET, ROSWELL, GA 30075
 SUITE 120

TREE CODE	QTY	BOTANICAL / COMMON NAME	SIZE	MINIMUM HEIGHT	FORM	NOTES	
AT	25	ACER RUBROBRUNNUM / TRIDENT MAPLE	3 GAL	18" MINIMUM	CENTRAL LEADER	FULL AND HEALTHY	
AM	55	ACER RUBRUM / ARMSTRONG' RED MAPLE	3 GAL	18" MINIMUM	CENTRAL LEADER	FULL AND HEALTHY	
AB	3	ACER RUBRUM / AUTUMN BLAZE / AUTUMN BLAZE RED MAPLE	3 GAL	18" MINIMUM	CENTRAL LEADER	FULL AND HEALTHY	
AA	14	AMELANCHIER ALBOVARIA / AUTUMN BELLWIND / DOWNY SERVICEBERRY	3 GAL	15" CAL	MULTI-TRUNK	FULL AND HEALTHY	
OB	43	CHAMAELIRIUM PASTOSUM / PYRAMIDAL EUROPEAN HORNBEAM	3 GAL	2" CAL	MINIMUM 18" HGT.	W. TRUNK HT.	
OA	15	CAMPIDIA CAROLINIANA / AMERICAN HORNBEAM	3 GAL	2" CAL	MINIMUM 18" HGT.	CENTRAL LEADER	
OC	27	CECYPHUS DEODARA / BLUE DEODAR CEDAR	3 GAL	2" CAL	MINIMUM 18" HGT.	FULL TO THE GROUND	
OV	11	FRAXINUS VIRGINIANA / WHITE FRINGETREE	3 GAL	1.5" CAL	MINIMUM 8" HGT.	CENTRAL LEADER	
OF	46	GOLDSPIRE MAIDENHAIR TREE / GOLDSPIRE MAIDENHAIR TREE	3 GAL	2" CAL	MINIMUM 12" HGT.	CENTRAL LEADER	
EH	4	EMILY BRUNER HOLLY / EMILY BRUNER HOLLY	3 GAL	1.5" CAL	MINIMUM 8" HGT.	FULL TO THE GROUND	
WM	18	WHITE CRAPE MYRTLE / WHITE CRAPE MYRTLE	15 GAL	MINIMUM 8" HGT.	MULTI-TRUNK	FULL AND HEALTHY	
SM	24	SOUTHERN MAGNOLIA / SOUTHERN MAGNOLIA	3 GAL	1.5" CAL	MINIMUM 8" HGT.	FULL TO THE GROUND	
JM	18	JANE' MAGNOLIA / JANE' MAGNOLIA	3 GAL	1.5" CAL	MINIMUM 8" HGT.	MULTI-TRUNK	FULL AND HEALTHY
ST	17	STAR MAGNOLIA / STAR MAGNOLIA	3 GAL	1.5" CAL	MINIMUM 8" HGT.	MULTI-TRUNK	FULL AND HEALTHY
TU	3	TUPELO / TUPELO	3 GAL	1.5" CAL	MINIMUM 10" HGT.	CENTRAL LEADER	FULL AND HEALTHY
YC	6	YOSHINO CHERRY / YOSHINO CHERRY	3 GAL	1.5" CAL	MINIMUM 8" HGT.	CENTRAL LEADER	FULL AND HEALTHY
SO	23	SCARLET OAK / SCARLET OAK	3 GAL	2" CAL	MINIMUM 14" HGT.	CENTRAL LEADER	FULL AND HEALTHY
BC	14	BALD CYPRESS / BALD CYPRESS	3 GAL	1.5" CAL	MINIMUM 8" HGT.	FULL TO THE GROUND	FULL AND HEALTHY
DS	30	DEGROOT'S SPIRE ARBORVITAE / DEGROOT'S SPIRE ARBORVITAE	15 GAL	MINIMUM 8" HGT.	FULL TO THE GROUND	FULL AND HEALTHY	
EL	11	ATHENA ELM / ATHENA ELM	3 GAL	2" CAL	MINIMUM 14" HGT.	CENTRAL LEADER	FULL AND HEALTHY

SHRUBS CODE	QTY	BOTANICAL / COMMON NAME	SIZE	MINIMUM HEIGHT	NOTES	SPACING
BS	406	ILEX CORNUTA / BURFORD NANA / DWARF BURFORD HOLLY	3 GAL	18" MINIMUM HEIGHT	FULL AND HEALTHY	40" o.c.
GL	47	ILEX GLABRA / SHAMROCK / INEBERRY	3 GAL	18" MINIMUM HEIGHT	FULL AND HEALTHY	40" o.c.
PS	59	KLICUM PARVIFLORUM / JAPANESE ANISE	3 GAL	18" MINIMUM HEIGHT	FULL AND HEALTHY	40" o.c.
MY	46	MYRTICA CERBERA / WAX MYRTLE	3 GAL	18" MINIMUM HEIGHT	FULL AND HEALTHY	72" o.c.
IN	121	RHAPHOLEPS INDICA / CLARK / INDIAN HAWTHORN	3 GAL	12"X12" MINIMUM SIZE	FULL AND HEALTHY	42" o.c.

SHRUB AREAS CODE	QTY	BOTANICAL / COMMON NAME	SIZE	MINIMUM HEIGHT	NOTES	SPACING
LA	2,342	/ LANDSCAPE SPACE (TYPICAL)	3 GAL			30" o.c.
GD	20,001 SF	CYNODON DACTYLON / TF 419 / BERBERIDA GRASS	500 SF		SMOOTH LINES AND TIGHT JOINTS.	
LB	3,203	LIRIOPE MURCARR 'BIG BLUE' / BIG BLUE LILYTURF	4" POT		FULL & HEALTHY	18" o.c.
ZZ	4,167 SF	ZOYSIA X 'ZEON' / ZEON ZOYSIA	500 SF		SMOOTH LINES AND TIGHT JOINTS.	

RETAINING WALL,
 TYP. SEE CIVIL

10' LANDSCAPE STRIP, 119' LONG
 5 TREES AND 5 SHRUBS REQUIRED
 6 TREES AND 6 SHRUBS PROVIDED

Streetworks

ACN/ARC/CB GENERATION SERIES LED

COOPER Lighting

2. STREET LIGHT, TYP. NTS



STC2020-00053

RANGEWATER REAL ESTATE
 SUGAR HILL
 5000 & 5252 BAILEY AVENUE
 SUGAR HILL, GA 30518
 LAND LOT 306, 7th DISTRICT

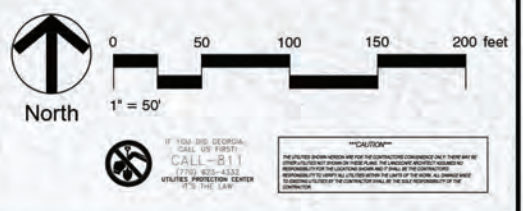


Revisions

Sheet Title
LANDSCAPE CONCEPT PLAN

Job No: 2021-084
 Scale: 1" = 50'-0"
 Date: 1-28-2022
 Drawn By: STS

LC-1.0



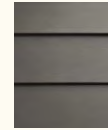


RANGEWATER

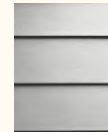
Highway 20 Fronting Facades



Pearl Grey Plank Siding



Aged Pewter Hardie Plank Siding



Arctic White Hardie Plank Siding



Ansley Park Brick

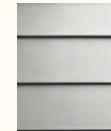


Mosstown Brick



RANGEWATER

Bailey Ave Facing Facades



Arctic White Hardie Plank Siding



Ansley Park Brick



Mosstown Brick



RANGEWATER

Internal Facing Facades



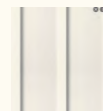
Arctic White Hardie Plank Siding



Ansley Park Brick



Mosstown Brick



White Board and Batten



Pearl Grey Plank Siding

Streetworks

DESCRIPTION

The ACN/ARC/CLB Generation Series LED is a marriage of traditional shapes and contemporary styling. Its superior photometrics offer excellent illumination and uniformity for many of today's applications. Its styling blends well in many settings - historic districts, downtown streetscapes, roadways, residential neighborhoods, as well as city parks and educational campuses. The Generation Series LED sets a new standard for decorative post top luminaires.

Catalog #		Type	
Project		Date	
Comments			
Prepared by			

SPECIFICATION FEATURES

Construction

HOUSING: Heavy-duty cast aluminum housing and removable door. A single quarter turn fastener on the removable door provides tool-less access to wiring compartment. **CAGE ASSEMBLIES:** Cage assembly uprights and medallions are manufactured of heavy-duty cast aluminum and mounted to the exterior of the base housing via four stainless steel fasteners. Cage rings constructed of extruded aluminum and finished to match housing. **TOPS AND FINIALS:** Choose from multiple spun aluminum or acrylic tops and cast aluminum finials for customized fixture style. All solid tops are made of heavy-duty spun aluminum. **TWISTLOCK GLOBE:** The optional twistlock assembly offers ease of maintenance through instant access to both the LED and wiring compartment by twisting the top refractor assembly and lifting it from the mating lock plate.

Optical

REFRACTIVE GLOBE: High efficiency refractive optical systems are precisely designed utilizing a combination of refractive and reflective prisms. Available in Type III or Type V distributions. Lighting grade acrylic ensures long lasting optical clarity and resistance to discoloration.

Electrical

120-277V 50/60Hz operation. 10kV/10kA common and differential mode surge protection standard. Thermal management transfers heat rapidly away from the LED source for optimal efficiency and light output. Ambient operating temperature from -40°C to 40°C. Standard three-position tunnel type compression terminal block.

Mounting

Base casting slipfits over a standard 3" O.D. tenon and secured via four stainless steel allen head fasteners. 3G vibration tested.

Finish

Cast and spun components finished in a five-stage premium TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Consult your Streetworks representative for a complete selection of standard colors including black, bronze, grey, white, dark platinum, graphite metallic and hartford green. RAL and custom color matches available.

Warranty

Five-year warranty.



ACN/ARC/CLB GENERATION SERIES LED

LED

DECORATIVE POST TOP LUMINAIRE

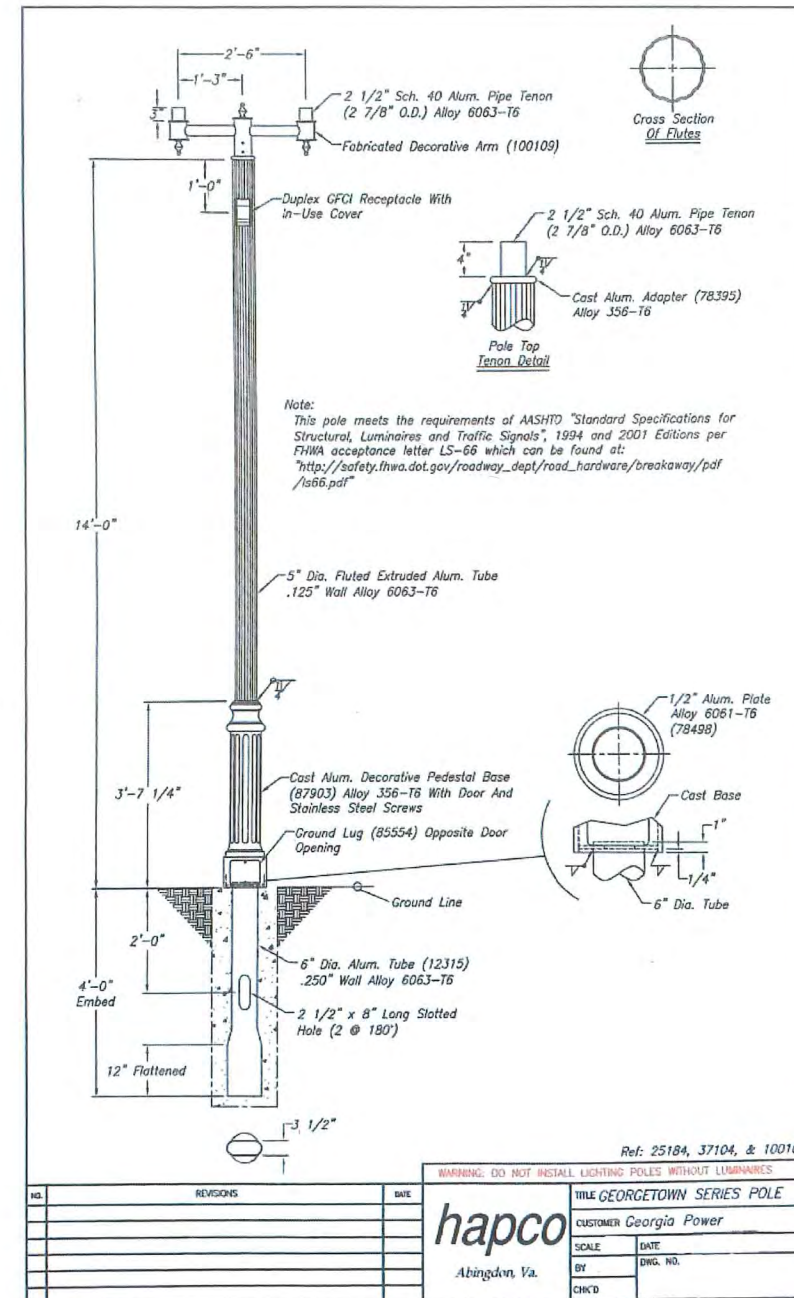


CERTIFICATION DATA
UL/cUL Wet Location Listed

EPA
Effective Projected Area:
2.1 Square Feet

SHIPPING DATA
Approximate Net Weight:
50 lbs. (23 kgs.)

TDS16011EN
December 7, 2020 5:11 PM



DIMENSIONS

