

City of Sugar Hill
Planning Staff Report
DRB-CBD 21-004

DATE: February 2, 2022; **Updated 2/10/2022**
TO: Mayor and Council, Design Review Board
FROM: Planning Director
SUBJECT: Central Business District (CBD) Design Review
Mixed-use Development
1450 Peachtree Industrial Boulevard

REQUEST

The City of Sugar Hill has received an application from Joe Alcock with McMillan Pazdan Smith Architecture requesting design review board approval for a mixed-use project in the central business district with for-rent residential including multi-family, rowhouses, townhomes, and commercial uses.

RECOMMENDED ACTION

Approval of the site plan and building elevations in material and architectural detail with the following conditions:

1. Final designs shall substantially resemble the attached exhibits labeled Exhibit 1 through 10. ***Site design shall incorporate additional on-street parking, tree plantings, plaza design, access improvements, and others as noted on Exhibit 1 & 2.*** Building elevations fronting Hillcrest Drive shall be designed with a neutral color palette. Final material and color selections shall be subject to on-site mock-up approval, with identified materials subject to City Manager approval.
2. A substantial gateway art feature shall be incorporated into the site design. The final design and location shall be approved by the City Manager prior to releasing permits and installed prior to final certificate of occupancy. Developer may elect to make a monetary contribution of \$25,000 to the City of Sugar Hill in lieu of installing the improvements.
3. Shared use path shall be a minimum of 14' wide and constructed of concrete.
4. A public access easement along the entire length of the shared use path shall be recorded with the deed records prior to receiving certificate of occupancy for 50% of the total number of units.

DISCUSSION

- The proposed architectural style and material selection departs from what Sugar Hill is accustomed to. However, given its unique location and transitional context from an automotive salvage yard, the contrasting style could add desirable variety to the local housing market. Building elevations along Hillcrest Drive should be designed with a more neutral color palette.

- While the design standards favor traditional styles and materials, the primary purpose is to foster visual harmony in the built environment. This can be accomplished with a variety of styles if each project is successfully reconciled to the immediately surrounding context. It is also important that the design review process does not sanitize a project to the extent its unique character is lost.
- Incorporation of the shared use trail and public access drive between Hillcrest Drive and Peachtree Industrial Boulevard work together to satisfy the inter-parcel access and maximum block length design standards which are intended to promote a pedestrian friendly development format.
- Character of the semi-public community space is an important organizing element for the trail and overall site design. The trail and community space will help activate each other in a positive way.

APPLICANT: Joe Alcock with McMillan Pazdan Smith Architecture
 OWNER: TLJ Land Group LLC c/o Tony Gold
 EXISTING ZONING: General Business District (BG)
 Town Center Overlay District (TCO)
 Central Business District (CBD)
 REQUEST: Design review approval for mixed use development with multifamily, rowhouses, townhomes and commercial uses.
 PROPERTY SIZE: ± 16.282 acres
 Tax Parcel Id Number: 7-292-077A, & 7-292-194
 LOCATION: 1450 Peachtree Industrial Boulevard.
 Parcel is currently an existing auto salvage yard.

DESIGN REVIEW CRITERIA

1. Is the proposed project consistent with the adopted design guidelines for the type of development, and/or the proposed use?

The CBD requirements are designed to foster development of the city center using traditional block patterns characterized by common side walls, building fronts abutting the sidewalk and on-street parking; breaking up large blocks; optimizing multi-modal connectivity and incorporating small public gathering spaces.

The proposed design is consistent with the adopted design guidelines. The buildings provide pedestrian-scale architectural elements and commercial uses. The site includes pedestrian-oriented streetscape elements and integrates space for public gathering as well.

2. Is the proposed project consistent and compatible with the nature and character of the surrounding areas?

The proposed designs are consistent with the adopted vision and emerging character of Downtown Sugar Hill. On its interior, the project contrasts with surrounding development

in terms of color and materials. However, the buildings on the edge are to be reconciled with the surrounding neighborhood with a more neutral color palette.

3. *Are the site design, landscaping, general design, character, arrangement and scale of buildings, texture, materials and colors of the project similar to or compatible with features or structures in the area.*

The proposed elevations and conceptual site plans are compatible in scale, material selection, and general design character with the nearby proposed development. Color palette is to be adjusted to better match up with the existing single family residential neighborhood along Hillcrest Drive.

4. *Will the interior arrangement or use have any effect on exterior architectural features and otherwise complies with the standards of this ordinance?*

The design team will need to ensure that any interior changes to the configuration do not adversely affect the layout of the facade.

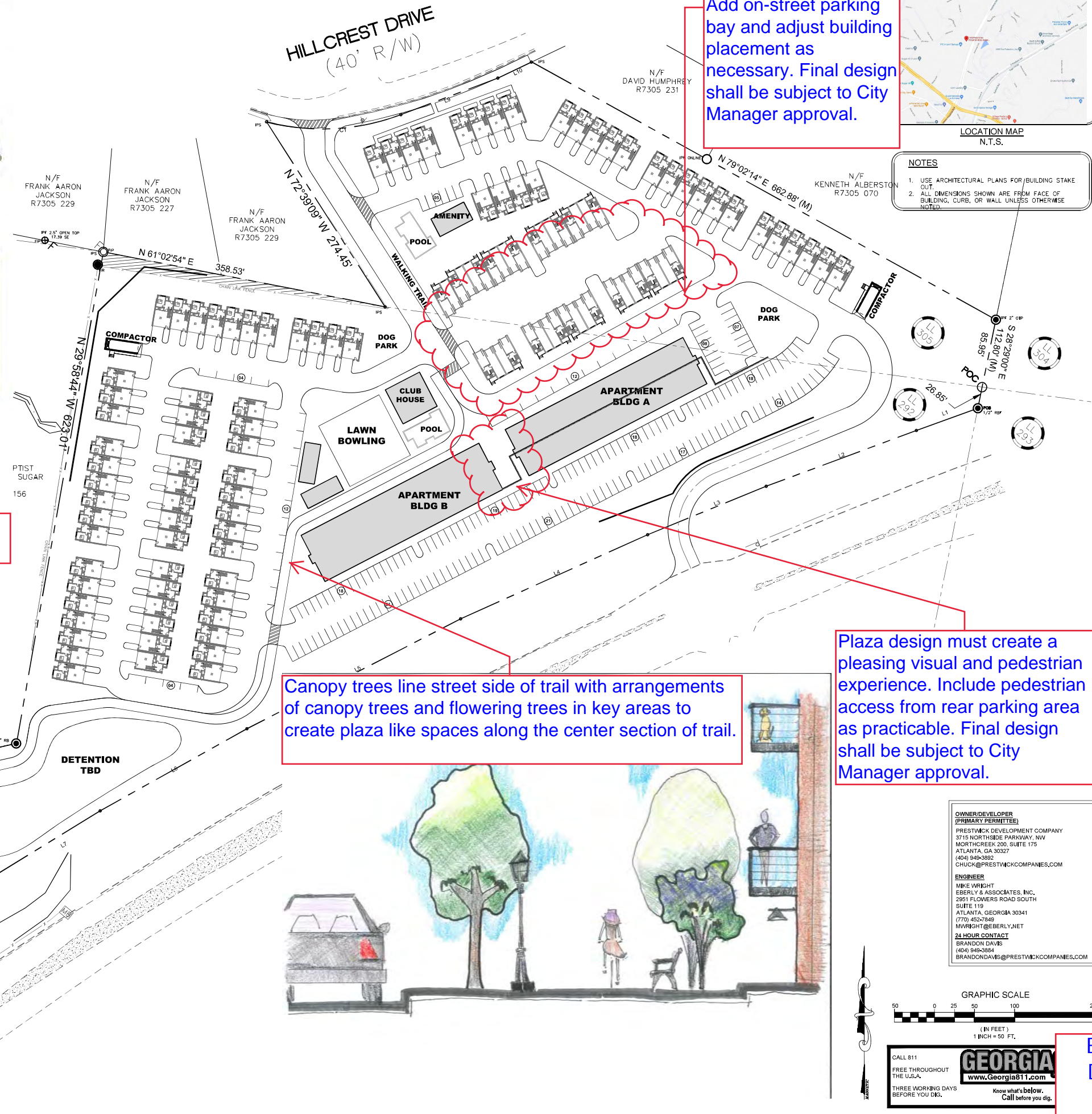
5. *Does the project contribute or resemble the following criteria for considering a design inappropriate?*

Character foreign to the area / Arresting and spectacular effects / Violent contrasts of material or color, or intense or lurid colors / A multiplicity or incongruity of details resulting in a restless and disturbing appearance / The absence of unity and coherence in composition not in consonance with the density and character of the present structure or surrounding area.

While the proposed design departs from the traditional aesthetic to which Sugar Hill is accustomed, the project provides desirable variety and with proper conditions appropriately interfaces with immediately surrounding neighborhoods.

The diagram illustrates a cross-section of a shared use path. It features a central brown-colored path labeled "SHARED USE PATH" with a width of "10'-15'". This path is flanked on both sides by green-colored areas labeled "GRADED SHOULDER", each with a width of "3'". Above the path, four figures are shown: a person on a bicycle, a person on a motorcycle, and two pedestrians. A fence line is indicated on the left side, with a label "Fence on residential side" pointing to it. Two large green trees are positioned on the far left and right sides of the path.

Canopy trees line both sides of trail entering the site.



SUGAR HILL II
MIXED-USE DEVELOPMENT

LAND LOT 305 & 292
7TH DISTRICT
GWINNETT COUNTY, GEORGIA
1450 PEACHTREE INDUSTRIAL BLVD.

[illegible]

OVERALL SITE LAYOUT PLAN	
SCALE:	1"= 50'
DATE:	11/09/2021
DRAWN BY:	COL
PROJECT MANAGER:	MIKE WRIGHT
QA/QC CHECK:	MW

PROJECT NO.

0P21-174

Exhibit 1
DRBCBD
21-004



LOCATION MAP N.T.S.



Standard project access improvements such as sidewalks, crosswalks, deceleration lane, will be incorporated into the final approved development plans. Omission from concept plans does not grant waiver from requirements.

Existing access improvements, signage, debris and uses or structures within right of way shall be abandoned and removed prior to certificate of occupancy.

SUGAR HILL II : MIXED USE DEVELOPMENT

1450 PEACHTREE INUSTRIAL BLVD

NOVEMBER, 2021
SCALE: 1"=50'-0"

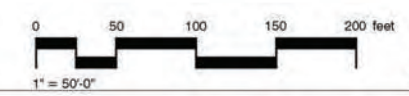


Exhibit 2
DRBCBD
21-004



FRONT ELEVATION

1/16" = 1'-0"



ROWHOUSE ELEVATION FRONT

1" = 10'-0"

Exhibit 4
DRBCBD
21-004



ROWHOUSE ELEVATION REAR

1" = 10'-0"



TOWNHOUSES ELEVATION REAR

1/8" = 1'-0"



1450 PEACHTREE INDUSTRIAL BLVD
SUGAR HILL, GEORGIA

07/23/21

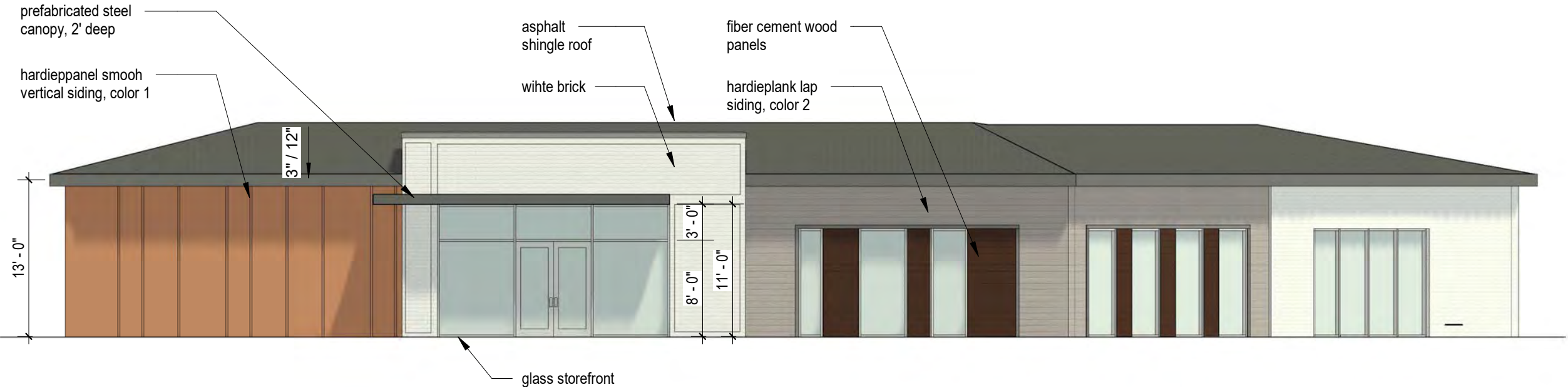
Exhibit 6
DRBCBD
21-004

ELEVATIONS - TOWNHOUSES



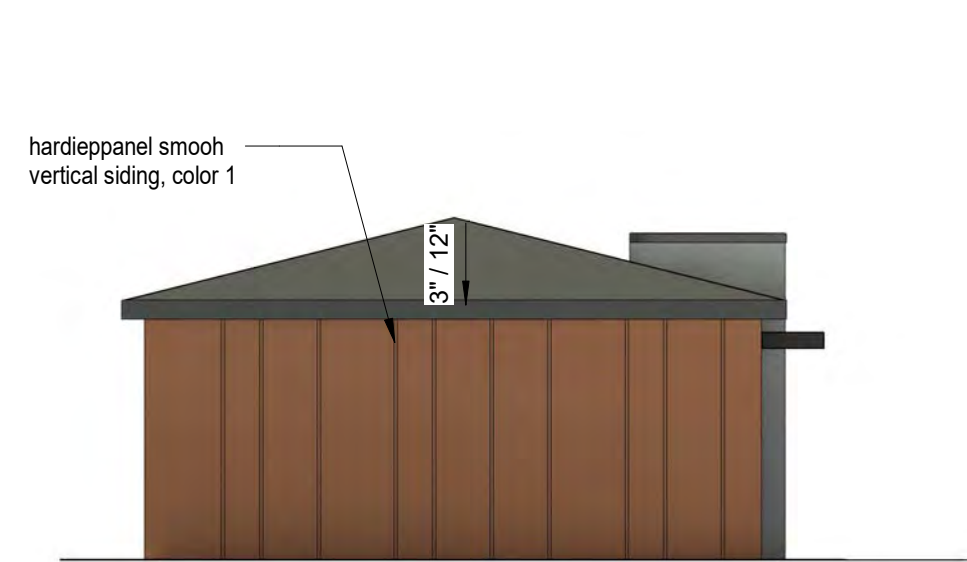
TOWNHOUSES ELEVATION FRONT

1/8" = 1'-0"



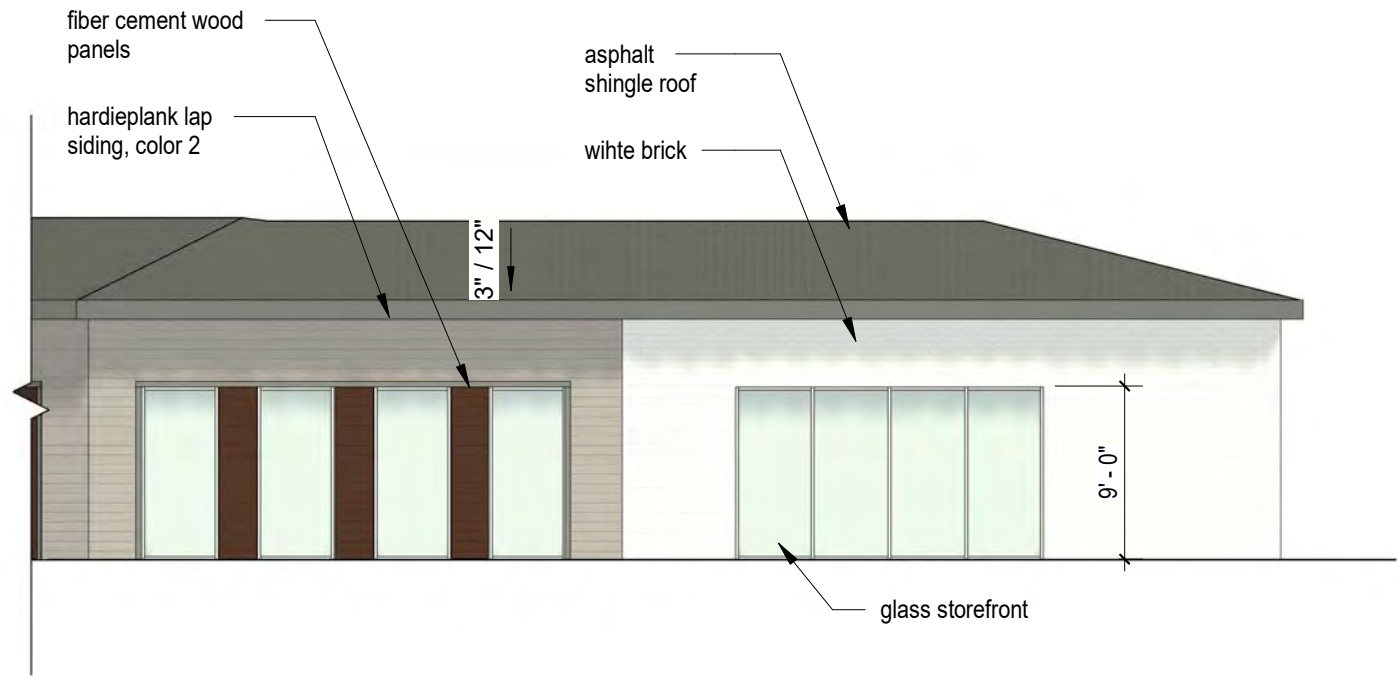
CLUBHOUSE ELEVATION WEST 2

1" = 10'-0"



CLUBHOUSE ELEVATION NORTH

1" = 10'-0"



CLUBHOUSE ELEVATION WEST

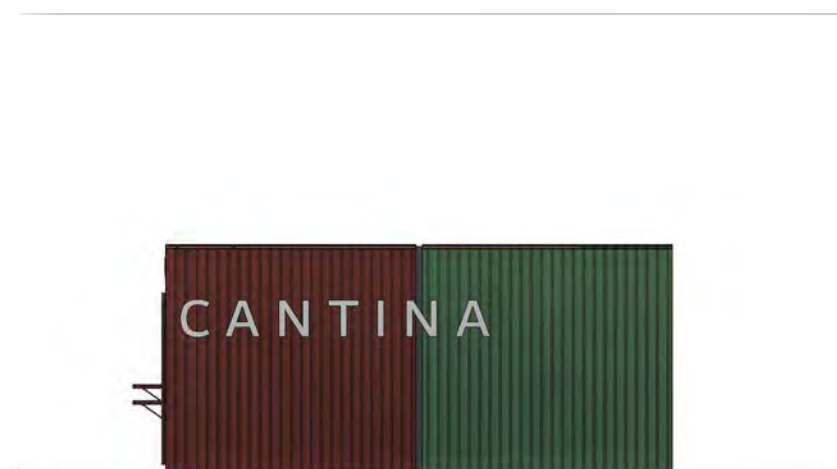
1" = 10'-0"



WEST ELEVATION



CONTAINERS STREET ELEVATION

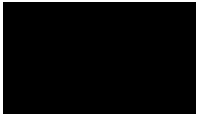











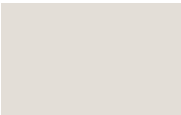


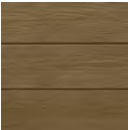


EAST ELEVATION



LAWN BOWLING ELEVATION

MATERIALS LEGEND

AW-1		ALUMINUM CANOPY WITH C CHANNEL EDGE PROFILE COLOR: DARK BRONZE	AS-1		LANDMARK PRO ARCHITECTURAL ROOF SHINGLES COLOR: PEWTER	WP-1		PAC-CLAD WALL PANELS CONCEALED FASTENER (HWP PROFILE) COLOR: HEMLOCK GREEN
SF-1		JELD-WEN VINYL WINDOWS BETTER SERIES, INSULATED GLASS FRAME COLOR: WHITE				WP-2		PAC-CLAD WALL PANELS CONCEALED FASTENER (HWP PROFILE) COLOR: MILITARY BLUE
SF-2		STOREFRONT SYSTEM CLEAR LOW-E INSULATED GLAZING UNITS APPLIED ALUMINUM MUNTINS FRAME COLOR: CLEAR ANODIZED	MTL-1		PREFINISHED METAL COPING. COLOR: GRAPHITE	WP-3		PAC-CLAD WALL PANELS CONCEALED FASTENER (HWP PROFILE) COLOR: COLONIAL RED
BR-1		MODULAR BAYHILL BRICK	PT-1		PAINTED CEMENT SIDING COLOR: SW 7599 BRICK PAVER			
			PT-2		PAINTED CEMENT SIDING COLOR: SW 6377 BUTTERSCOTCH			
CB-1		HARDI PLANK SMOOTH LAP SIDING COLOR: VARIES (SEE PAINT COLORS)	PT-3		PAINTED CEMENT SIDING COLOR: SW 7028 INCREDIBLE WHITE			
CB-2		HARDI CEMENT TRIM BOARD SMOOTH COLOR: ASH GRAY	PT-3		PAINTED CEMENT SIDING COLOR: SW 7046 ANONYMOS			
CB-3		NICHIHA FIBER CEMENT SIDING VINTAGE WOOD COLOR: CEDAR						